

Master Signage Program | November 21, 2012

Prepared for



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SAN DORADO

# Comprehensive Signage Program

## PROJECT HISTORY

### Site Planning and Design

San Dorado is a 27±-acre mixed use development which will include a Mark Taylor multi-family housing, office space, public gathering areas and 40,000± of retail space. It is situated on a triangular piece of property, cut in half by 1st Avenue and the back side lined by the Rooney Wash.

Even though the frontage along Oracle Road stretches for 2750 feet, the internal layout of the three uses will create a pedestrian-oriented project that will encourage the 'live-work-play' atmosphere for those living there. However, location on the busiest street through the town, and as a designated state highway, the need for adequate signage for tenant recognition and safe traffic flow into the site. This will require the signage along the road to be designed for vehicular design strategies. In short, the project site is located at the center of Oro Valley's business and transportation corridors.

San Dorado represents 27 acres. It has 128,000± square feet of residences, 40,280 of retail and restaurant space, and 19,750 of future office opportunities. The retail will be anchored with two national tenants.

### Design Concept

Freestanding signs are "excerpts" of architectural components of the building theme and materials. Instead of mini buildings, the freestanding monuments become statements in the environment. Architectural and textured walls that create simple expression for the project identification. Accent elements and materials are used for tenant identification areas for both retail, residential and future office. Each combination of wall and accent is integrated into the site with simple, yet formal landscaped areas and lighting features.

All signage elements focus on a simple vocabulary of materials – rock, steel, mass of materials, planting, lighting and colors. Combined with the graphic materials of aluminum with a "corten steel" like finish, dimensional lettering and logo treatments, signage becomes representative of established brands within the overall design theme and palettes. Variations in design distinguish the different uses on the site – through simplicity – not over designed or cluttered with details.

### Functional Requirements

As a local retail center, signage for identification and recognition to customers is inter-dependant on high profile signage to support high sales volumes.

The sign package has been designed to provide a hierarchy of elements to meet the spectrum of functional signage needs, from identification to the pedestrian experience approaching the front door, as follows:

### Signage Types

#### Entry Way Monumentation

In addition to identity for the center, it is essential to identify the major tenants on the monuments that flank the main entries to the mixed use project site.

#### Street-level Identity

Monument signs will be provided along the frontages of Oracle Road and 1st avenue which identify the various projects and tenants. Two tenant identification types of monument signs are used. A single tenant monument which identifies the primary road entrance to the pad users. And multi-tenant monuments at secondary entrances to the retail sites, identifying the in-line users.

### Site Wayfinding

The stipulations on creating a 360° architecture, locating closer to the street than other sites, shortens the "cueing" throughout the site and the viewing allows the driver to have time to visually locate their destination. Vehicular oriented directory and directional signs will be provided along internal roadways and driveways at necessary decision points to assist in quicker navigation of the site.

Adjacent to Oracle and 1st Avenue, pedestrian directionals to the public space and canal trail system will be installed to provide assistance.

### Tenant Identification Signs

Building signage will be allowed on the fronts and rear elevations of the business due to the dual loaded site design. In addition to building mounted signage, projecting, canopy and/or awning-mounted signs will also be allowed for each business where appropriate for the architecture and viewing opportunities.

### Menu Boards

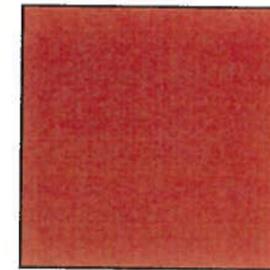
(Not shown on the plans at this time) For drive-through restaurants, ordering and menu boards will be provided along the drive-through lanes. These are designed and provided by each of the individual users needs, based on the allocations found in the sign matrix.

### Pedestrian Signs

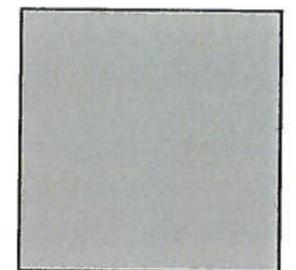
Pedestrian-oriented window signs will be used to identify businesses and to provide information related to the business, such as hours of operation and emergency telephone numbers.

Shingle signs are also allowed, but not required. Shingle signs will be at the discretion of the tenant within the signage matrix outline.

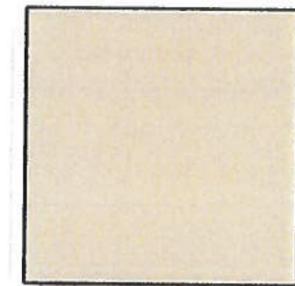
## Color/Material Palettes



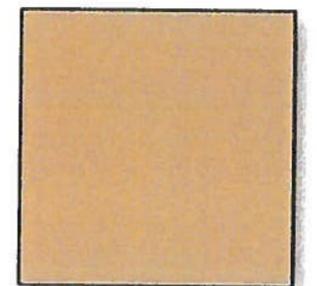
Powder Coat "Rust"



Matthews Silver



Dunn Edwards  
Nomatic Taupe  
DE 6192 LRV 53



Dunn Edwards  
New Cork  
DE 6180 LRV 33



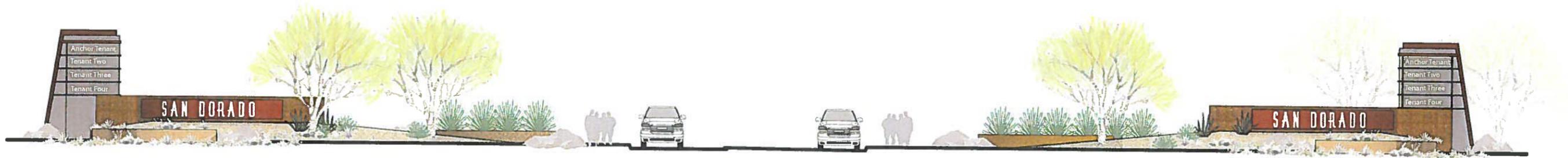
ALUMINUM  
STOREFRONT  
Dark Bronze



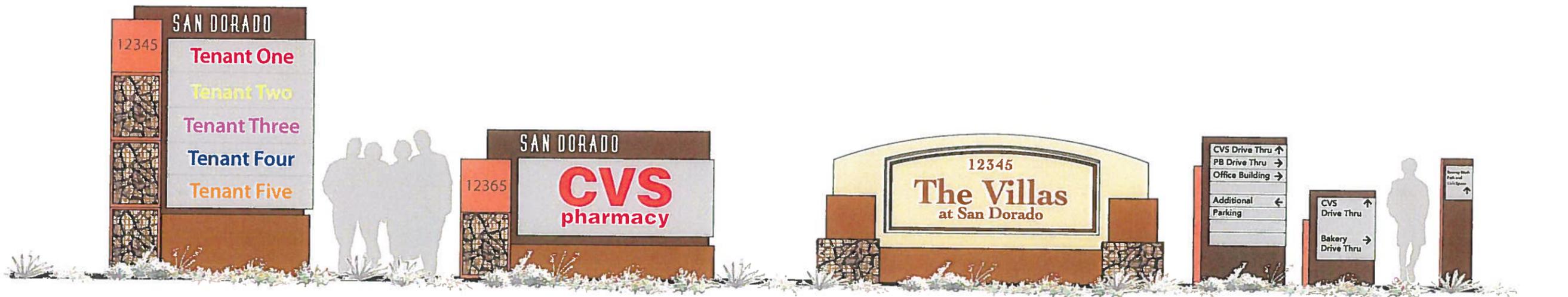
Gabion Rock Walls

# SAN DORADO

## Freestanding Signage Hierarchy



A1 - Primary Entry Monument



B1 - Multi-Tenant Monument (Retail)

B2 - Single Tenant Monument (Retail)

C - Residential Monument

D1 - Vehicular Directory  
D2 - Vehicular Directional

D3 - Pedestrian Directional

**Freestanding Signage Matrix**

SIGN TYPE	LOCATION	QTY	SQUARE FOOTAGE / CALCULATIONS	TOTAL S.F.	ILLUMINATION	MATERIALS
A1 - Entry Gateway Monuments	Oracle Road and 1st Avenue	2	18' tall max / 72 s.f. - One (1) per street side	142	Indirect, Internal and Backlit	Metal panels with routed-push through text and dimensional logo shape and individual letters
B1 - Multi Tenant Identity	Oracle Road	5	10' tall max / 48 s.f. each	240	Internal	Metal panels with routed-push through text and dimensional logos. Individual letters on metal sign cabinet.
B2 - Single Tenant Identity	Oracle Road and 1st Avenue	3	6' tall / 25 s.f.	75	Internal	Metal panels with routed-push through text and dimensional logos. Individual letters on metal sign cabinet.
C - Multi-Family Identity	1st Avenue	1	6' tall / 25 s.f.	25	External ground mounted uplights	Individual letters stud mounted to background.
D1 - Directory	At entry off 1st Avenue	2	8' tall / 50 s.f.	100	Non-illuminated	Metal panels with vinyl graphics
D2 - Directionals	On specific sites	TBD	4' tall / 6 s.f.	NA	Non-illuminated	Metal panels with vinyl graphics
D3 - Pedestrian Directional	1st Avenue	1	6' tall / 2 s.f.	NA	Non-illuminated	Metal panels with vinyl graphics
E - Menu Boards (Not shown on location map)	Throughout site interior where needed	2 per site (as reqd)	6' tall max / 32 s.f.	N/A	Internal	Per graphic and architectural standards of tenants branding
<b>TOTAL SQUARE FOOTAGES (AGGREGATE SIGNAGE USAGE)</b>				<b>582</b>		

# SAN DORADO

## Signage Location Plan

Signage locations have been defined based on the lineal front footage of the overall project and per the signage types defined in the Oro Valley Signage Code. These are shown in the calculation matrix on the previous page.

Locations, sizes and quantities illustrate the maximum allowed for the site. Total signage to be fabricated and installed shall be at the discretion of the owner based on tenant requests and the economic conditions.



- A1 Entry Gateways Monuments
- ▭ B1- Multi-tenant Monuments
- B2- Single Tenant Monuments
- C1 - Multi-Family Monument
- ▼ D1 - Directory
- ▲ D2 - Directionals
- ⬡ Menu Boards  
(shown on site as typical - not specific)
- ★ Pedestrian Directionals

### SITE DATA - COMMERCIAL

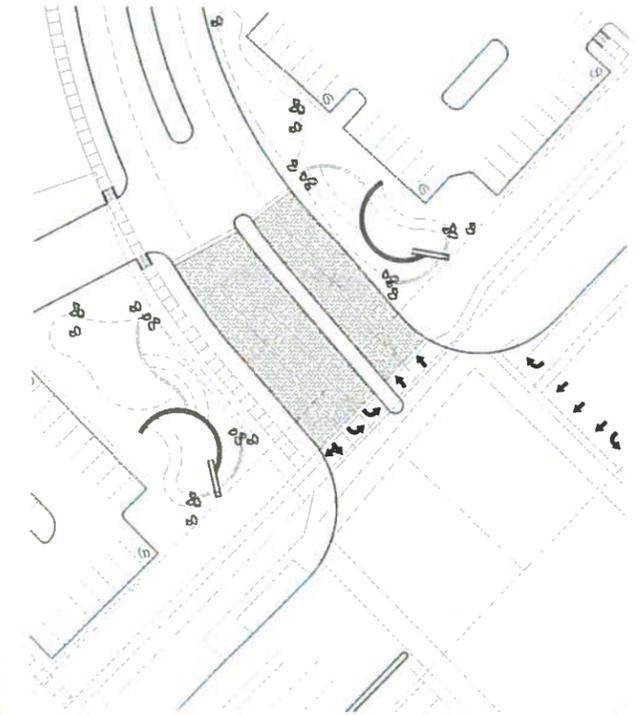
SITE AREA, NET :	526,758 s.f. (12.03 Ac.)
TOTAL BUILDING AREA:	66,880 s.f.
F.A.R.:	.13 (.16 WITH G4H AS 2 STORY)
PARKING PROVIDED:	386 Spaces
PARKING RATIO:	5.71/1000

### SITE DATA - RESIDENTIAL

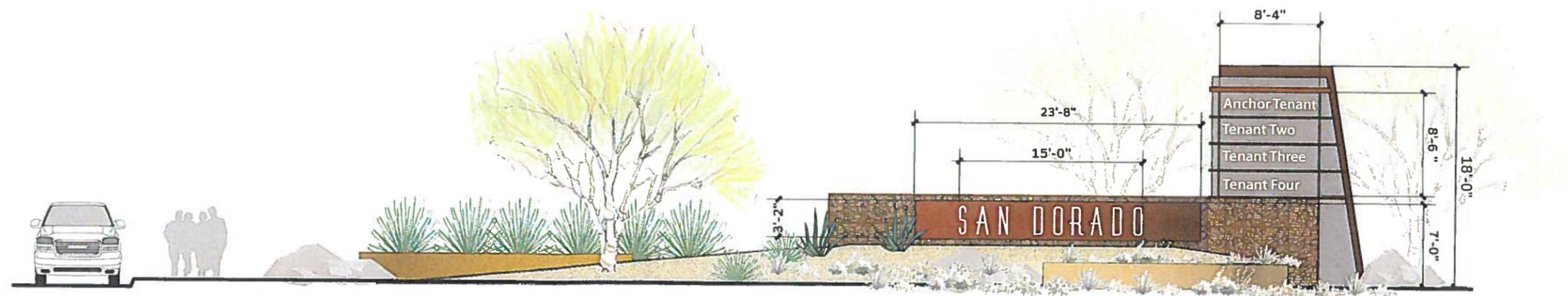
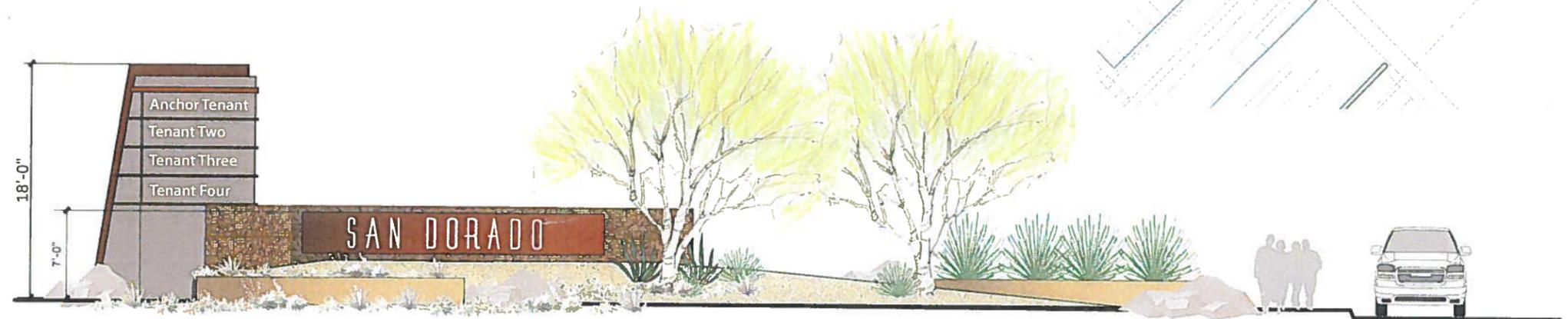
Site Area, Net :	685,297 s.f. (15.73 Ac.)
Total Building Area:	374,917 s.f.
Multi-family Units:	275 2-Story & 3-Story Units
Total Building Footprint:	128,050 s.f.
% Coverage:	18.68%
Density:	18 du/Ac.
Parking Provided:	538 Spaces
Parking Ratio:	1.95 ps/du

**A1- Project Identification**  
(at Main Entrance)

Oracle Road and 1st Avenue project identification with major tenant signage elements flanking the entry point. Signage is incorporated into the architecturally themed landscape walls and formal planting.



- Materials: Steel and rock gabian wall background with Corten steel look finished aluminum
- Construction: "San Dorado" - individual pan channel letters, aluminum sides and white faces
- Height: Project ID - 7'-0"  
Tenants - 18'-0"
- Letter Height: Project ID - 28"  
Tenants - 9"
- Sign Area: Project ID - 2'-4"x 15'-0" / 36 s.f.  
Tenants - 8'-4"x 8'-6" / 70 s.f.
- Colors: Panel: Rusted Steel  
Letters: Brushed Aluminum  
Lights: white
- Illumination: SAN DORADO lettering - External ground uplights and halo backlit  
Tenant panels - Internal



# SAN DORADO

## B - Tenant Monumentation

Tenant monuments to be located along roadways at major project entry drives or single tenant building entry drives to assist in wayfinding and identification.

Each tenant monument sign includes the name of the project/development and address where applicable to the entry.

### Construction

Materials: Aluminum cabinets and tenant panels, with vertical gabion caged stone pillars and aluminum posts

### Project Identification

Project ID: **San Dorado** to be individual letters routed from background with acrylic push-thru

Colors: Cabinets - Rusted steel  
 Lettering - White  
 Posts/gabions - to match Terra Cotta Tile

### Tenant Panels

Materials: Aluminum tenant panels with painted non-directional finish, routed copy with push-thru acrylic

Color: Panels - Matthews Silver

Graphics - Per tenant corporate standard colors and logo/letter style

Illumination: Internal

## B1 - Multi-Tenant Identification

Located along Oracle Road for multi-tenant identification of retail and future office tenants.

Height: 10'-8" to top of sign panel  
 (1 per first 300 feet of street frontage)

Sign Area: Project ID - 8 1/2" x 4'-0" / 2.6 s.f.  
 Tenants - 6'-8" x 6'-0" / 40 s.f.



## B2 - Single-Tenant Identification

Located along Oracle Road for and 1st Avenue for single tenants primary entry for identification of retail tenants.

Height: 6'-0" to top of sign panel  
 (1 per first 300 feet of street frontage)

Sign Area: Project ID - 8 1/2" x 4'-0" / 2.6 s.f.  
 Tenants - 3'-2" x 8'-0" / 25 s.f.



### C - Multi-Family Monument

Entry Monument located along 1st Avenue within the project. This sign type is a "brand" style for all Mark Taylor developments and complements the southwest architectural style of the residences.

**Construction**

Materials: Aluminum cabinets, masonry bases and Corten steel look post and beam architectural embellishments.

Height / Area: Max. of 6'-0"

Sign Area: Project ID - 3'-0" x 8'-2" / 25 s.f.

Letter Height: 11"

**Project Identification**

Letters: Flat cut out aluminum letters stud mounted to background wall

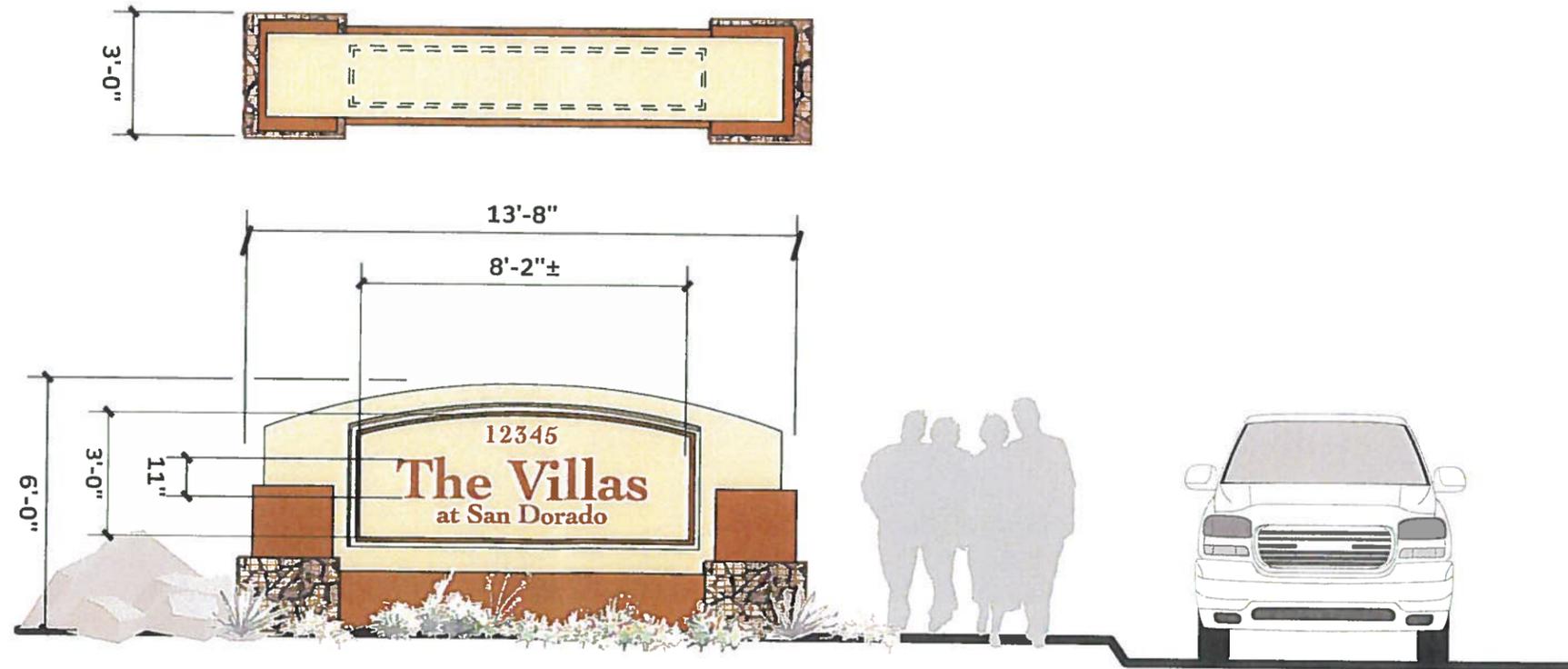
Color: Painted, Dark rusticated finish

Graphics: Final lettering typeface and numbers to be determined by owner.

**Illumination** External ground mounted uplights



Sign Location Elevation • NTS



# SAN DORADO

## D - Directory/Directionals

Directional signs shall be located along interior roadways as required to assist in wayfinding.

### Construction

**Materials:** Aluminum cabinets, Corten steel look finished backer cabinets with aluminum directional panels and painted aluminum support posts.

**Colors:** Cabinets - Rusted steel  
Panels - Matthews Silver  
Posts - To match terracotta tile  
Lettering - Black reflective

**Illumination:** Non-illuminated

### D1 - Directory

Located along Oracle Road for multi-tenant identification of retail and future office tenants.

**Height:** 8'-0" to top of sign panel

**Sign Area:** Panels - 5'-8" x 3'-2" / 20 s.f.

**Letter Height:** 3"

### D2 - Directionals

Located throughout the retail portion of the project as needed.

**Height:** 4'-0" to top of sign panel

**Sign Area:** Panels - 4'-2" x 3'-2" / 5.8 s.f.

**Letter Height:** 3"

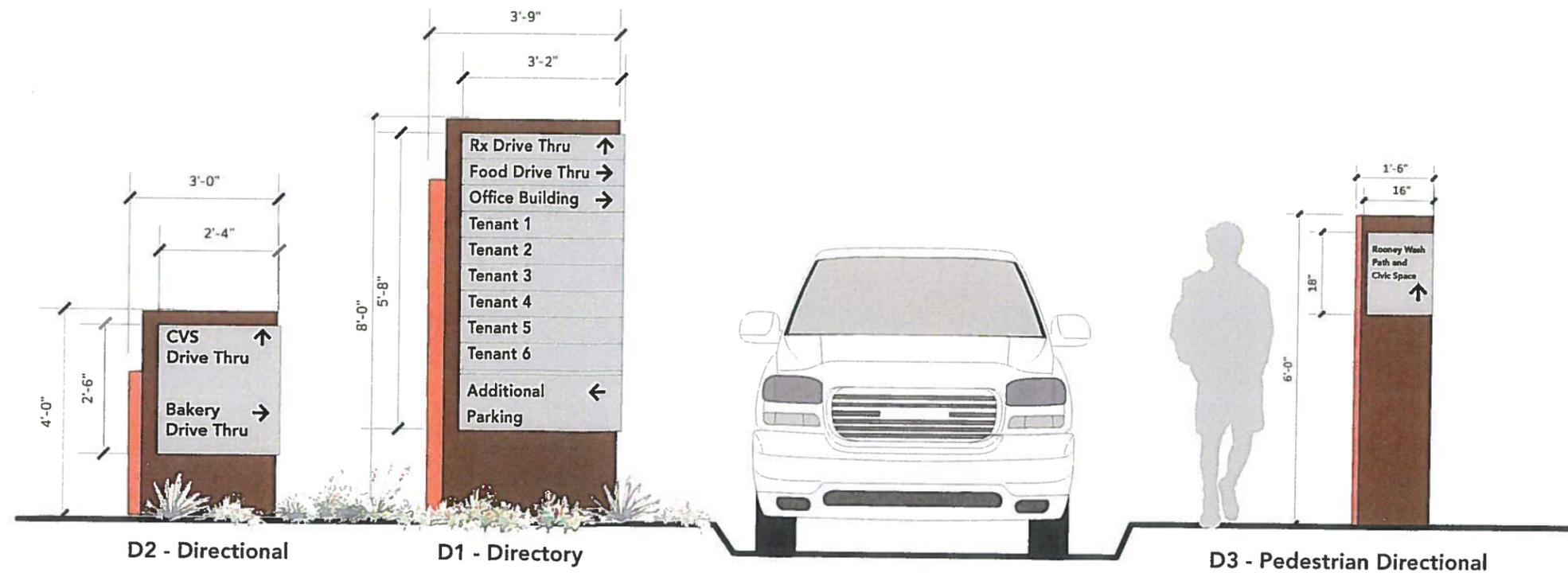
### D3 - Pedestrian Directionals

Located along 1st Avenue to direct pedestrians and cyclist to the wash trail and civic space.

**Height:** 6'-0" to top of sign panel

**Sign Area:** Panels - 18" x 16"

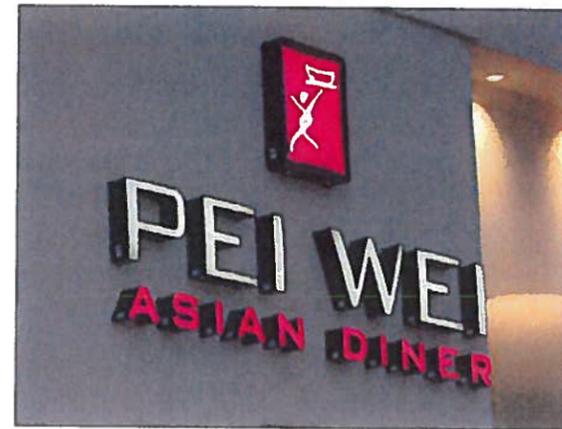
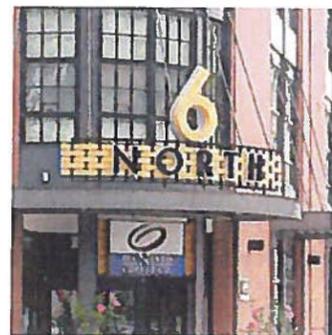
**Letter Height:** 1.5"



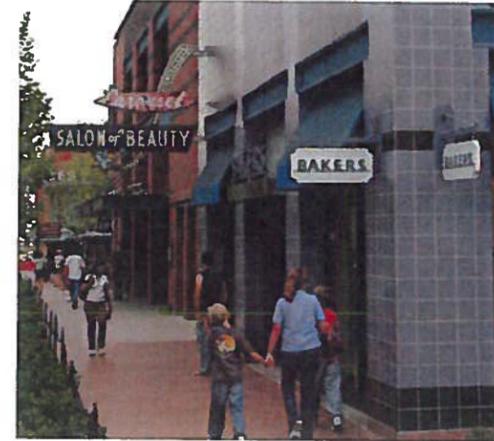
Fascia/Wall Mounted Signs



Awning / Canopy Signs



Projecting Signs



Custom Wall Unit Signs



Arcade / Shingle Signs



## Tenant Signage Design Standards

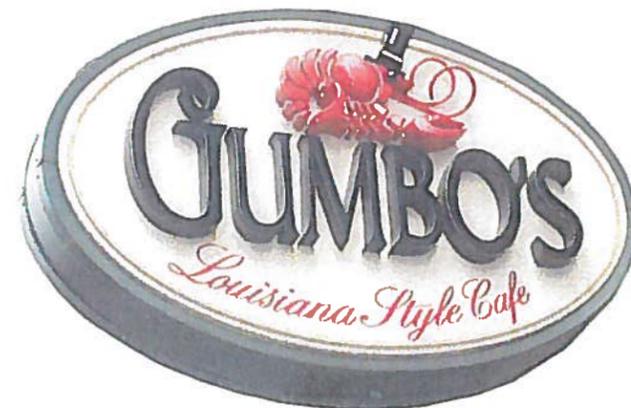
All Tenants must have storefront signs fabricated from either individual pan-channel, reverse pan-channel letters and logos, dimensional cut out or cast panels, projecting and/or "custom" cabinets.

Creative designs, forms, and the use of "custom" cabinet signs are encouraged (see the following pages for examples). Unless as part of a nationally registered and/or trademarked logo, rectangular shaped cabinets are strictly prohibited.

Square footages for tenant identification per the matrix may be reduced based on the locations and specific building conditions.

### Design Approval

All signs, including under canopy blade, window and back-door signage designs and layouts will be approved on an individual basis by the Developer prior to permit application to ensure a level of quality and aesthetics for the project.



# SAN DORADO

## Tenant Wall Signage Matrix

TENANT SIGNS	LOCATIONS	QTY	SQUARE FOOTAGE CALCULATIONS	INDIVIDUAL MAXIMUM LETTER HT	ILLUMINATION	MATERIALS
Pad Tenants (freestanding)	Three elevations that offer readability - including rear elevations	Min. 1 / Max. 3 per tenant	For building elevations containing wall signs, a sign may be a minimum of twenty-four (24) square feet, with no single wall sign containing more than one (1) square foot of sign for each linear foot of building frontage, for a maximum sign area of one hundred fifty (150) square feet.	72" Maximum	Internally illuminated, halo backlit, LED's or other equal sources to create a silhouette, indirect down lights and/or combination of lighting methods mentioned herein.	Aluminum, acrylic, painted metal,
Shops (freestanding bldgs) Shops (in-line)	Three elevations that offer readability - including rear elevations	Min. 1 / Max. 3 per tenant	Wall signs for building elevations further than three hundred (300) feet from the street may contain no more than one and one-half (1-1/2) square feet of sign area for each linear foot of frontage, for a maximum sign area of two hundred (225) square feet.	72" Maximum		Aluminum, acrylic, painted metal,
Office Building	TBD	TBD		TBD		Halo backlit
All Tenants Arcade / Shingles	Under canopy areas only in front of tenant's leased space. Maintain 9' clearance AFF	1 per public entry	4 s.f. Maximum	NA	Non-illuminated	Aluminum, acrylic, painted metal, vinyl graphics
Window Graphics (This is a compilation per Oro Valley Code)	Business Name  Hours of Operation  Sign Band: for displaying either the name of the business or logo in multiple successions.  Display Area: The display area shall be located on the first immediate window to the right or left of the entrance door	1 per frontage	Maximum two (2) square feet  Maximum of one (1) square foot  No higher than the midpoint of the overall height of the windows from grade.  Maximum of six (6) square feet. Business and/or tenants with building frontage in excess of forty (40) feet may have one (1) additional display area.  *Note: if entrance door cannot be utilized, then the sign may be located where it will not interfere with any other sign types, under this provision.	2" high  Copy may not exceed fifty percent (50%) of the total band length	Non-illuminated except for "open" and "closed" signs	Vinyl, paint, gold-leafing, or 3-dimensional manequins or graphics for display
Temporary Signs	On site		For all temporary signage - refer to <b>Section 28.6 Temporary Signs</b> of the Oro Valley Sign Code.			

**Brand Identity**

Copy and/or logos utilized shall be Tenant's choice, subject to the approval of Developer and/or Developer's agents prior to submittal for permitting through the Town of Oro Valley.

All national retailers shall be permitted to utilize their standard corporate identification programs subject to sign area limitations contained in the approved Comprehensive Sign Plan wall signage matrix.

No tenant signage will be allowed to be dominated by the service/or product it provides, nor be the "tenant Identification".

**NAIL SALON**

Bold and blocky san serif as service ID only - not allowed

*The Art of Nails*  
NAIL SALON

San serif font used with a name and style - allowed

*The Art of Nails*  
NAIL SALON

SALLEY HANSON • LOREAL • LANCOME

**Colors**

Letter face colors are limited to the standards plexiglas and or acrylic color standards (See attached color brochure) with the exception that no fluorescent colors will be allowed. Trim Caps for pan channels must match either letter face or standard duranodic dark bronze return color to match store front finish.

For National Tenants, additional colors for faces, returns and retainers may be per corporate standards after review and approval by Owner and/or Owners Representative.

**Sign Area Calculation**

See matrix for individual sizes and restrictions. A sign mounted on a delineated background panel or area distinctively painted, textured or constructed that integrates with the signage and/or is colored from the tenants corporate standards colors shall be counted as part of the sign area ( See exhibit A).

Calculation of sign area shall be the area within the smallest rectangle to enclose all elements of the graphics, and or two when an icon is separate from the text. (See exhibit B).

**Height and Length Calculation**

In no event shall any sign exceed eighty (80%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the architectural sign area shall regulate letter height not exceeding 80% vertical height. (See exhibit C)

A minimum of 1/2 the letter height line spacing shall be used between all multiple lines of signage layouts.

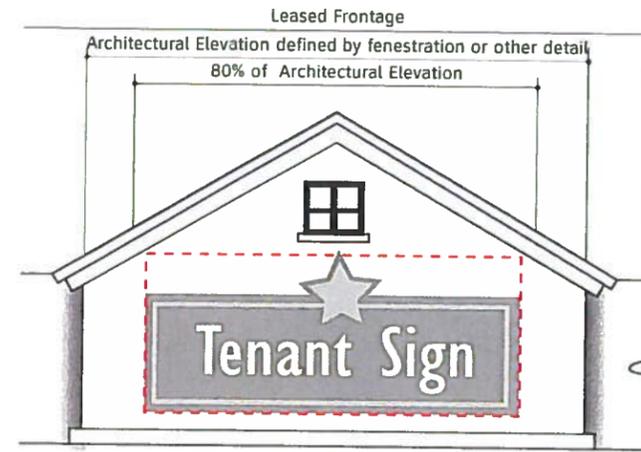


Exhibit A - Panel Calculation



$(H) \times (W) = \text{square footage}$

Exhibit B - Letter Calculation

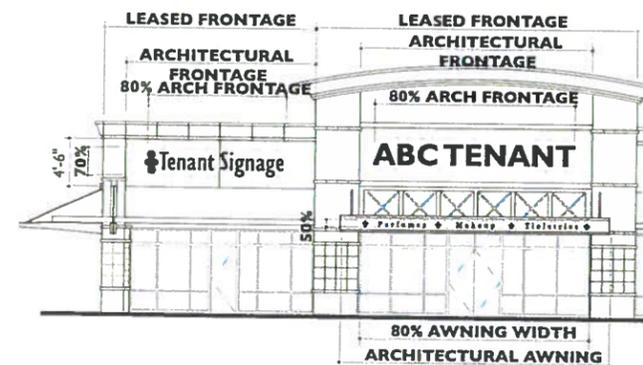


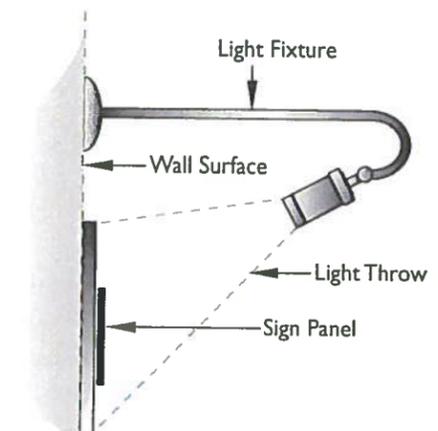
Exhibit C - Height and Length Calculation

**Illumination**

Tenant building signage may be internally illuminated, halo backlit with neon, LED's or other equal sources to create a silhouette, and/or combination of lighting methods mentioned herein.

For National Tenants and specially approved non-internally illuminated applications, supplemental lighting may be provided for appropriate signage recognition. The supplemental lighting must be incorporated into the facade or wall design either as a concealed feature, design element, or architecturally approved fixture (i.e. decorative accent fixtures, pin down lights, goosenecks, architectural finished cabinets, etc).

Lighting source may include fluorescents or LED's and various forms and shapes. Lighting components are not strictly specified. Designs shall be approved by the Owner.



The use of LED's is highly encouraged for energy economics and good "green" building practices. If LED's are used, white GE should be used to ensure color and light metrics provide the best use of materials and resources and consistency.

R&H	Pantone / CYRO	R&H	Pantone / CYRO	R&H	Pantone / CYRO	R&H	Pantone / CYRO	R&H	Pantone / CYRO
2037	Yellow C, 407-2	2115	485	2114	288,605-0	2308	321	2025	Black C, 199-0
2325	106	2283	485,211-1	2329	298	2407	334	7328	-- ,015-2
2465	109	2157	485,205-0	2069	2995	2030	3435	2540	400
2016	123	2793	187,278-0	2287	2627	2108	354,506-1	2094	416
2564	1375	2262	186	2050	280	2024	356	2540	354
2422	151	2415	200	2051	300,607-1		3305,5200-0	2404	404
2119	166	2418	4625					2514	414
3158	1777	2423	202					2539	453
2086	177	2085	232					2146	461

# SAN DORADO

## Tenant Identification Signs



Wall mounted signage is any sign placed or applied directly against a bearing and/or non-bearing wall connected to a building structure, with the exposed face of the sign in a plane approximately parallel to the plane of the wall. Signage shall be allowed to project outward from the wall not more than twelve (12) inches for individual letters, or eighteen (18) inches for custom cabinet signs. Signage may be placed on three elevations.

### Internally Illuminated Letters

The use of a standard or typical pan channel or reverse pan channel letters shall conform to the minimum fabrication standards below.

Returns: minimum of .050 aluminum with a full welded seams.

Faces:

Pan channels - Minimum 1/8", solid color or high quality translucent film.  
No painted finishes will be allowed.

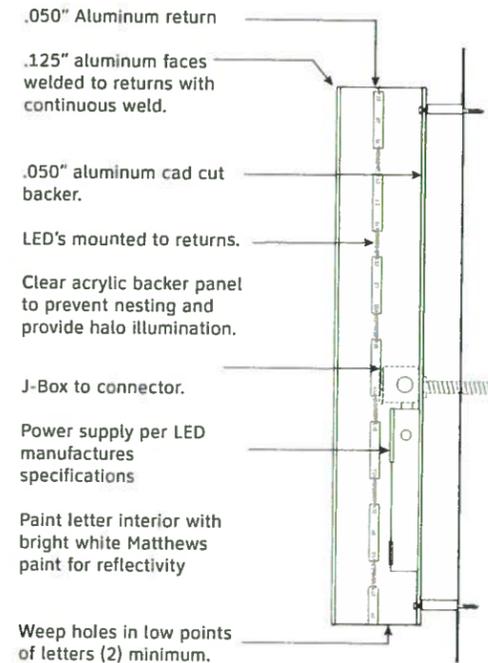
Reverse pan channel letter faces must be a minimum of 1/8" thick aluminum.

Self-contained letter construction is highly recommended where possible to prevent nesting in the backs. No visible raceways are permitted.

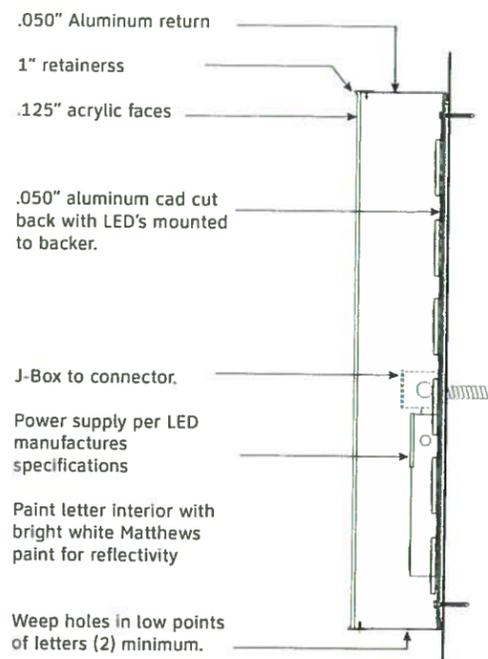
### Illumination

Signs may be internally, externally, indirectly, or a combination thereof. When internal or halo illuminated, the use of GE LED's is the preferred method.

### Typical Reverse Pan Channel Letter With Halo Illumination



### Typical Pan Channel Letter



### Dimensional Letters



Typically cut or cast from all metals, usually aluminum and bronze, or resin composite with specialty finishes, or stone. Other materials may be considered based on the use within the design.

Dimensional letters or graphics less than 1/4" thick will not be permitted. The type of metal and the design of the typography shall be taken into consideration for the minimum depth of material used.

Traditionally mounted or pin mounted to the face of the Storefront area or Base Building façade with external, indirect illumination.

Pin mounted depth should be a maximum of 1" off fascia (based on graphic size) to prevent intense shadowing and illegibility.

Pin mounts shall be located in the least visible location to support the letters. Pin mounts visible within the one-inch dimension between the background surface and the back of the letters shall be painted to match the background surface or to visually disappear.

Flush mounted signs shall use stud or pin mount hardware with silicone fill into pre drilled mounting holes.

### Thin Profile Panels



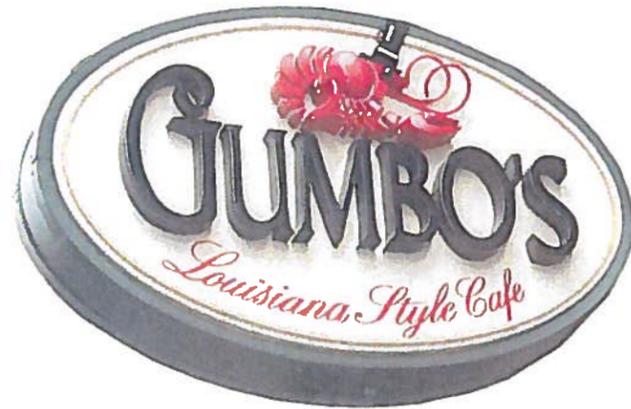
Designs must be dimensional in nature and respond to the building facade design.

Thin profile panel and cast plaques must be of quality metals and finishes. Signs located at pedestrian levels shall be a maximum of 4 inches deep and ease all edges to ensure ADA compliant requirement and to prevent nicks, cuts or scrapes.

Faces must be opaque and contrasting in color, texture, or material from one another to create depth and dimension. The maximum depth of the cabinet is twelve inches (12") from the wall or sign band behind when installed above 80" on the wall.

Routed metal panels of custom shapes lettering, typically indirectly illuminated but can be internally and halo backlit based on the overall design.

**Custom Wall Unit Signs**



These sign types are multiple layered and sided in design with a mix of opaque, translucent backgrounds and various types of lettering, and illumination methods, fabricated as single units.

Unless part of a nationally registered and/or trademarked logo, rectangular shaped designs are prohibited without Owner's overriding approval.

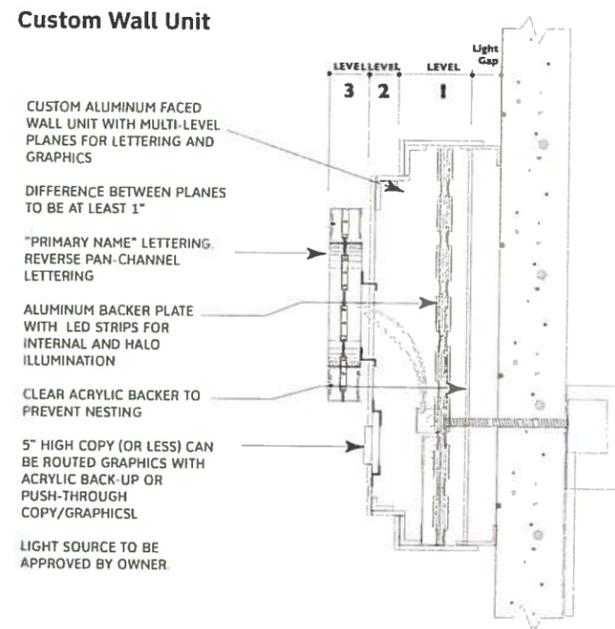
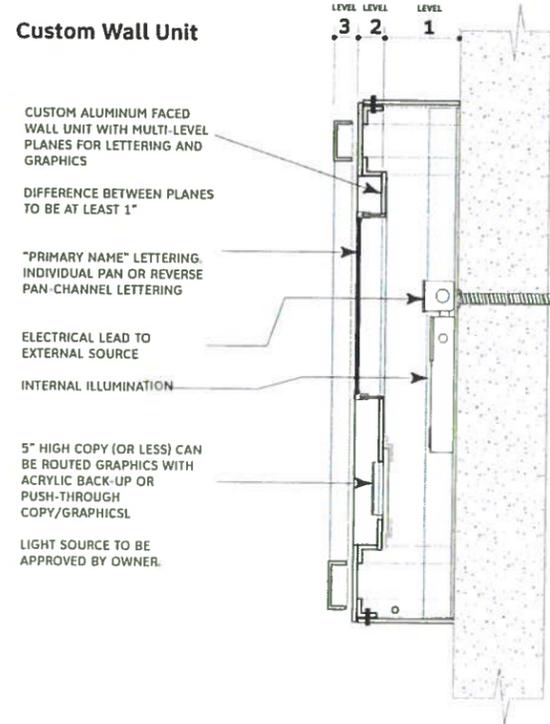
**Construction**

Custom Wall Unit signs are required to have the primary name to be dimensional letters on opaque backgrounds.

Secondary copy less than 5" can be internally illuminated as a routed and push through acrylic process.

**Illumination**

Custom Wall Unit signs may be internally, externally, indirectly, or a combination thereof. When Custom Wall Unit signs are used, the background surface(s) adjacent to the sign should be halo illuminated as well to provide definition of the signs' shape.



**Projecting Signs**

These sign types can be known as marquee or flag-mounted signs, which are double faced and mounted perpendicular to the building front.

Design must include multiple layers with a mix of opaque, translucent backgrounds and various types of lettering, and illumination methods, fabricated as a single unit.

Creative designs and forms are encouraged. Unless part of a nationally registered and/or trademarked logo, rectangular shaped designs are prohibited without Owner's overriding approval.

**Construction**

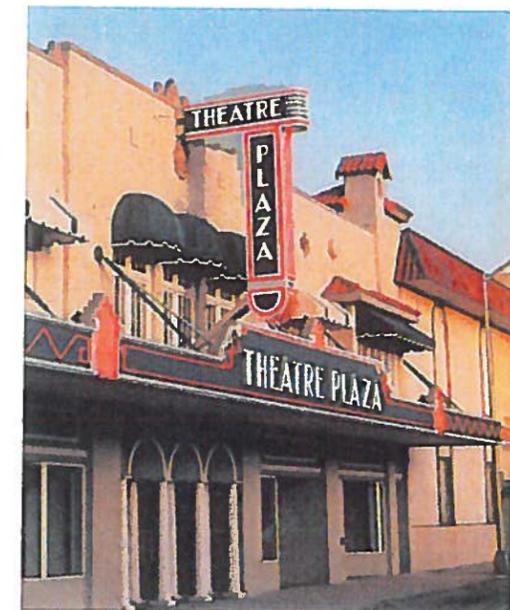
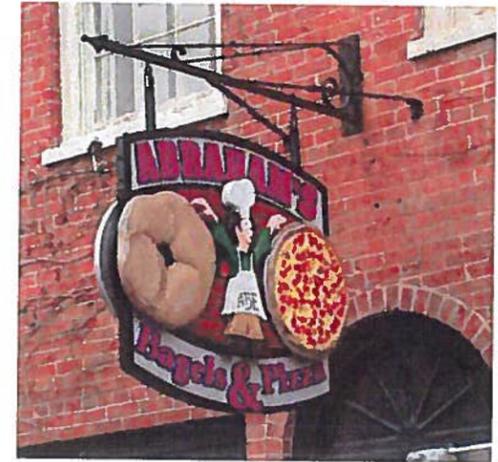
Projecting signs will require the coordination of the architectural drawings for structural integrity. Materials used should be light in weight yet withhold required wind loads for signage.

Added structural design and physical requirements to accommodate 3-D signage installations will be at the tenant's expense.

**Illumination**

Projecting signs may be internally, externally, indirectly, or a combination thereof.

No movement, chasing or flashing lights will be allowed.



# SAN DORADO

## Pedestrian Oriented Signs

### Arcade / Shingle Signs

Under pedestrian arcade/canopy areas, tenants may have one (1) arcade sign located at the primary entry. Tenants with more than one public entry will be allowed a maximum of two (2) arcade signs only if the entries are on different elevations. Both shall be of the same design and construction. The tenant shall be allowed to create their own unique panel appropriate to the store front and their recognized corporate identity and design theme, subject to Owner's approval.

Each Tenant will use a their own design, with approval from the owner prior to permit application. For cost efficiencies and design/construction uniformity, all under canopy blade signs will be manufactured by the Owner/Landlord's project sign contractor.

### Construction

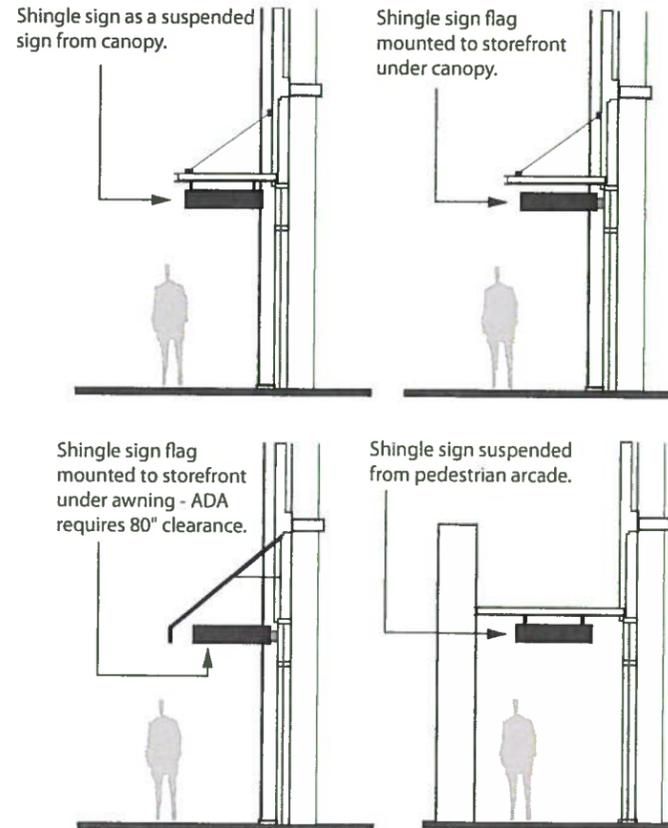
Graphics shall be flat cut out letters and elements, surface applied to both sides of the display. Each shop Tenant shall furnish and install the approved copy for said display at Tenant's sole and separate expense. Tenant shall pay for all costs associated with the production and mounting of Tenant's blade sign copy.

### Installation

Minimum 9'-0" above finished floor.

Orientation—Perpendicular to storefront.

This signage shall **not** count against the Tenant's square footage allotment.



### Window Graphics & Merchandise Display Area



Suite Numbers shall appear directly over each entry, to be applied white vinyl on the exterior of the glass. 6" high suite numbers to be displayed in Futura Condensed Medium.

Shop Name and Hours of operation shall appear adjacent to each entry, to be applied vinyl on the exterior of the glass. Layout to be approved by Owner/Landlord - see matrix for allowable area.

### Design Restrictions

Storefront graphics may not be "off the shelf" - prefabricated emulating neon tubing elements or use of fluorescent colors.

No printed, hand lettered, window painted sales promotions will be allowed.



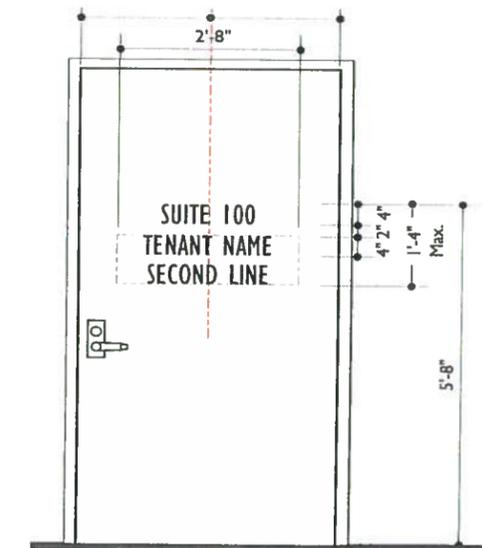
TYPICAL STORE FRONT  
Scale: NTS

Printed menus are not allowed to be taped to windows. Menus for take out or eat in restaurants, or in-store services must be within an architecturally integrated, enclosed design element and shall not exceed the 25% of the window/panel area. These may be internally illuminated.

No continuous "black-out" sheeting will be allowed. Merchandise display areas must be provided of the tenants products/graphics.

### Back Door Signage

All shops and freestanding buildings with exterior, non-public entrances may have identification signage located at the rear of the building. This signage shall be non-illuminated and shall not exceed four (4) square feet in area.



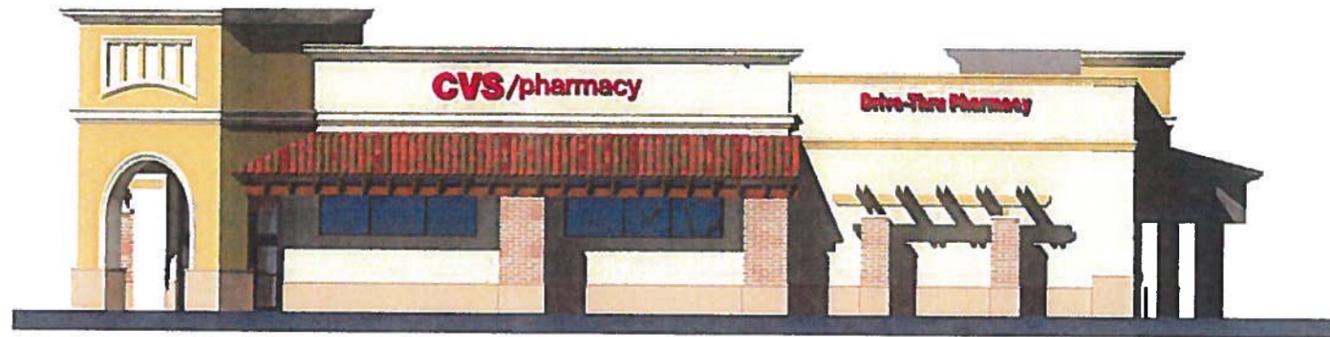
**Typical Signage /  
Building Elevations**

# SAN DORADO

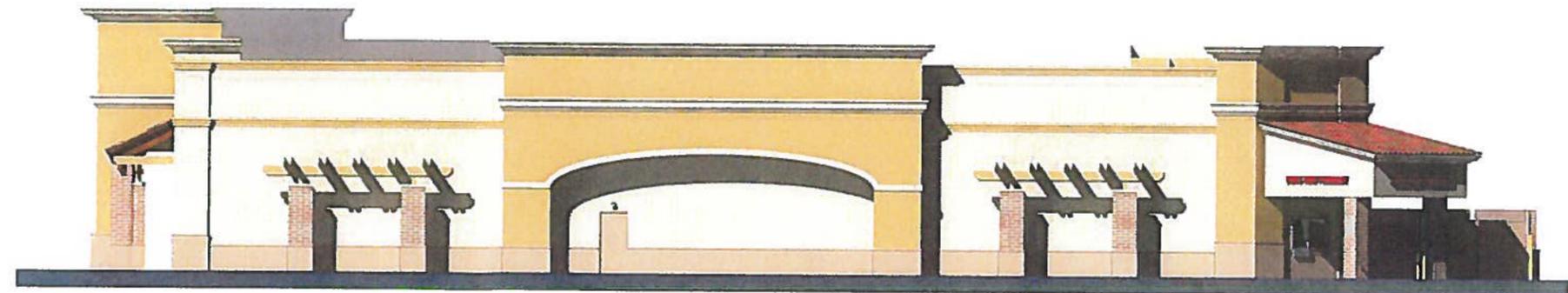
## Typical Signage Elevations - Major | Pad Tenant



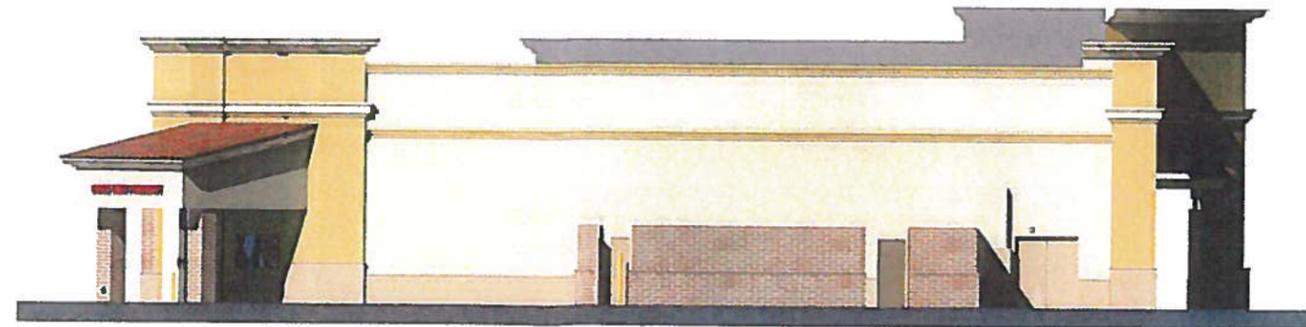
North Elevation (1st Avenue)



West Elevation (Oracle Road)



South Elevation (Internal drive through)



East Elevation (internal)

### Typical Signage Elevations - Shops B

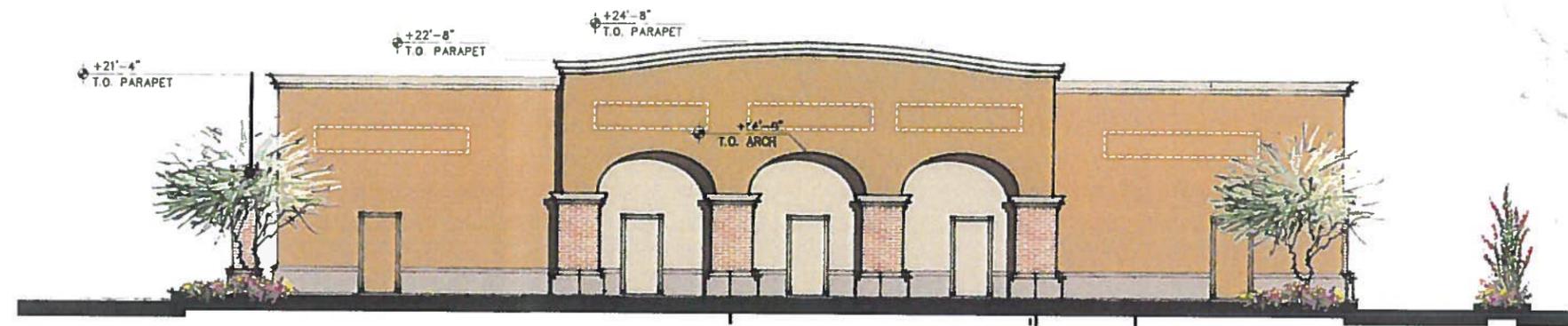
Sign envelope locations shown are for illustrative purposes only. Quantities and location shall be determined by leasing.

Envelopes can be combined for larger tenants with larger store frontages.

Final size shall be determined by the allowable square footage per the tenant signage matrix.



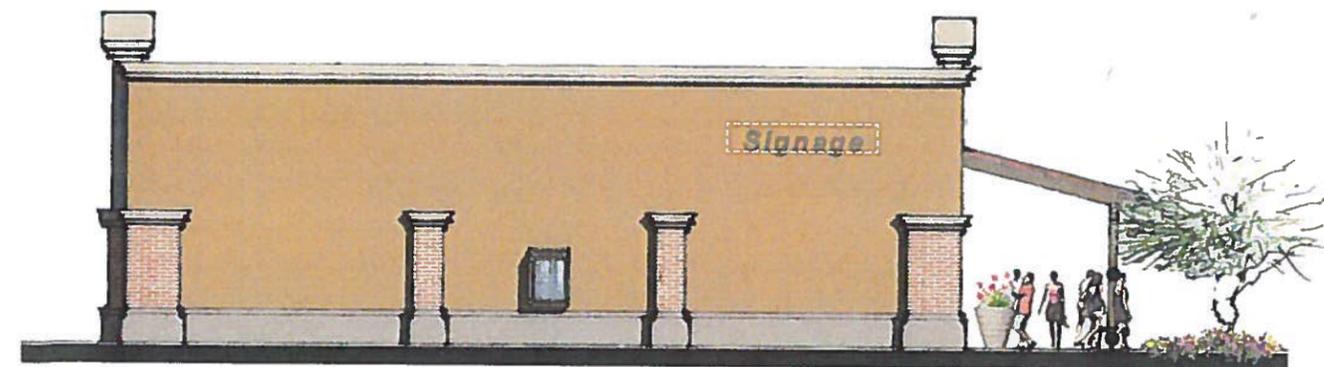
Shops B West Elevation (Oracle Road)



Shops B East Elevation (Internal )



Shops B South Elevation (Internal )



Shops B North Elevation (with Drive-thru )

# SAN DORADO

## Typical Signage Elevations - Shops C

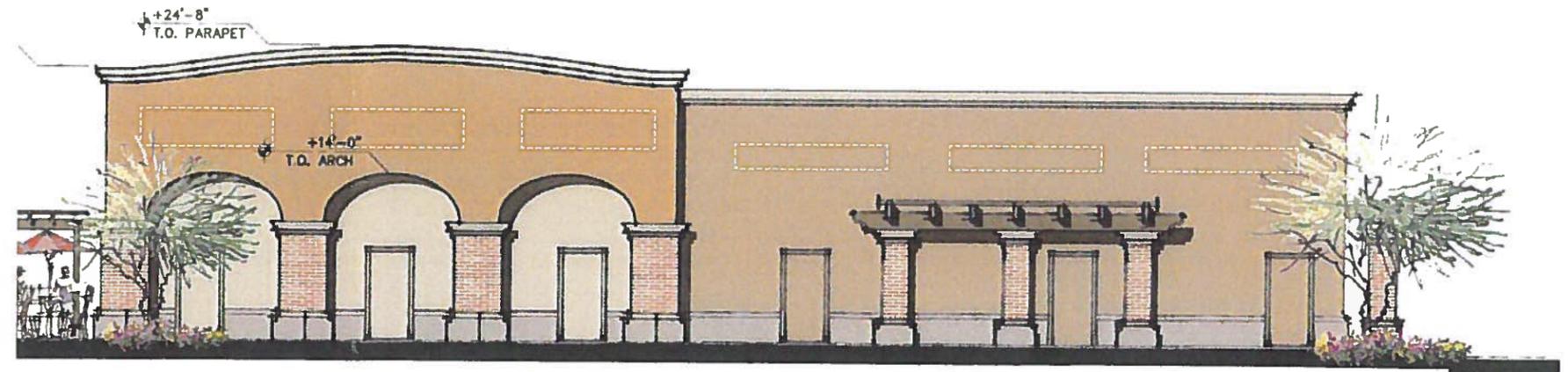
Sign envelope locations shown are for illustrative purposes only. Quantities and location shall be determined by leasing.

Envelopes can be combined for larger tenants with larger store frontages.

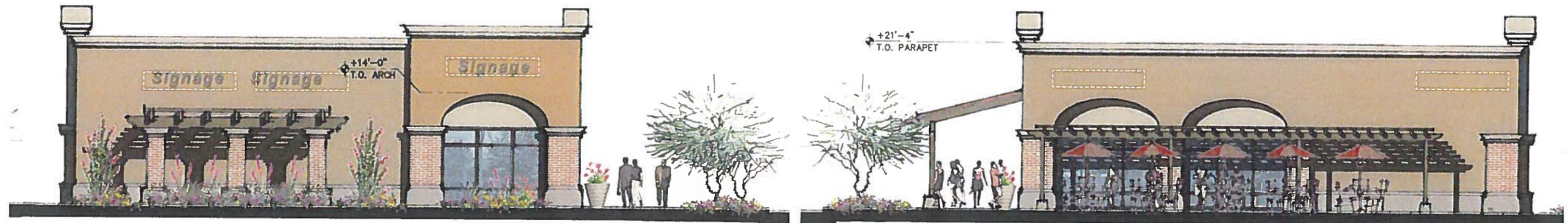
Final size shall be determined by the allowable square footage per the tenant signage matrix.



Shops C West Elevation (Oracle Road)



Shops C East (internal parking)



Shops C North

Shops C South (plaza area)

## Typical Signage Elevations - Shops D

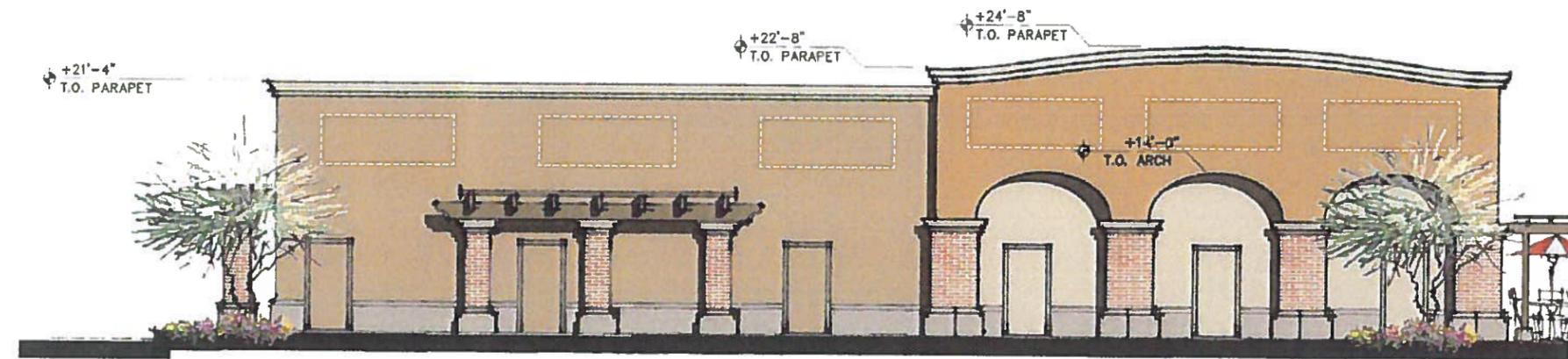
Sign envelope locations shown are for illustrative purposes only. Quantities and location shall be determined by leasing.

Envelopes can be combined for larger tenants with larger store frontages.

Final size shall be determined by the allowable square footage per the tenant signage matrix.



Shops D West Elevation (Oracle Road)



Shops D East Elevation (internal parking)



Shops D North



Shops D South

**Attachment 1  
Conditions of Approval  
Master Sign Program for San Dorado**

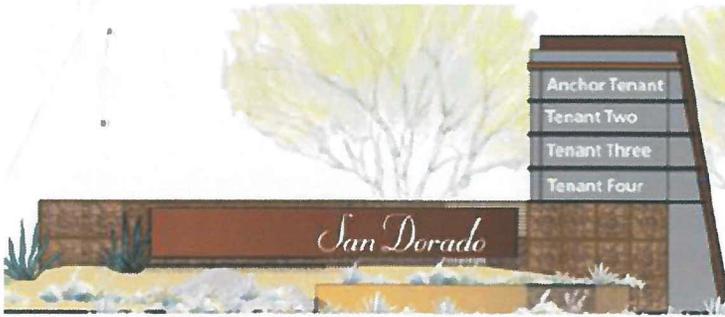
1. **Limit internal illumination for cabinet type signs so only the logo and letters emit light.**

Staff notes from the 1-16-2013 Town Council meeting:

- The office buildings signs are listed as TBD. Since the MSP is silent about signage for the office buildings, the current Zoning Code will apply.
- The panels for the monument signs must be opaque (no light) except for letters. Blank panels must be opaque.

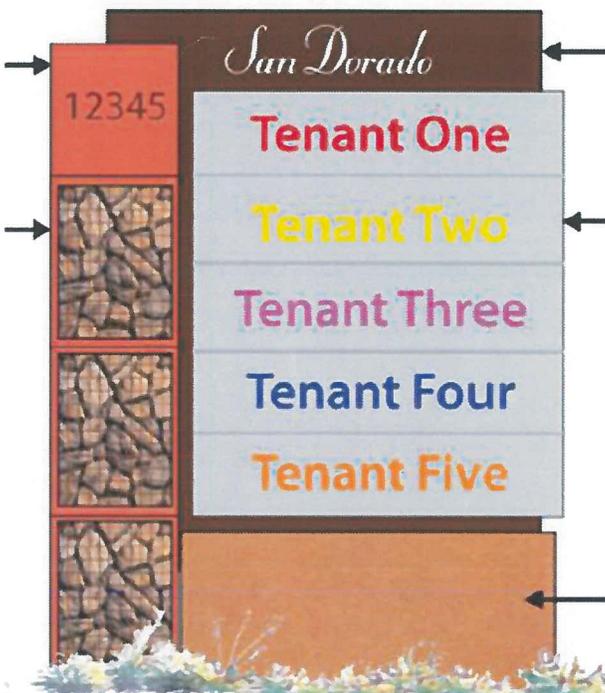
Below is what we would like us to change it to:

Main sign at entry along gabions



Top of the multi-tenant sign

12/13/2013-chn San Dorado logo



This change is very minor (only the font is changing). Please review and let us know if this is acceptable to make as a field modification or if we need to revise the permit. Thanks for your assistance in this matter.



**Brad Anderson**, Director of Design and Construction  
Kitchell Development Company  
1707 East Highland, Suite 100  
Phoenix, Arizona 85016  
O: 602.631.6101 | C: 602.390.3178

## Hayes, Patty

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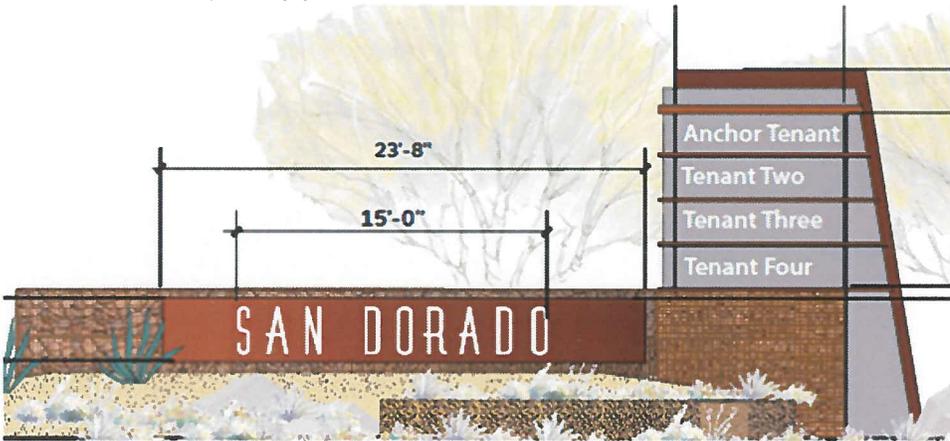
**From:** Brad Anderson [BAnderson@kitchell.com]  
**Sent:** Tuesday, December 17, 2013 11:16 AM  
**To:** Hayes, Patty  
**Cc:** Joe Commisto  
**Subject:** FW: Oro Valley Signage

**Attachments:** Picture (Device Independent Bitmap); Picture (Device Independent Bitmap); Picture (Device Independent Bitmap); Picture (Device Independent Bitmap); Picture (Device Independent Bitmap)

As we previously discussed, we would like to modify our font on the "San Dorado" signage.

Below is what is currently shown in our master sign plan:

Main sign at entry along gabions



Top of the multi-tenant sign

