

ORO VALLEY MARKETPLACE

COMPREHENSIVE SIGN PLAN

TOWN COUNCIL SUBMITTAL

OV3-06-02 / APPROVED DECEMBER 20, 2006

OV314-004 / REVISED & APPROVED MARCH 4, 2015

Developed by:



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ORO VALLEY MARKETPLACE

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ORO VALLEY MARKETPLACE

INTRODUCTION

The Master Sign Program prepared for Oro Valley Marketplace is entitled the “Comprehensive Sign Plan.” The Comprehensive Sign Plan will establish a uniform set of sign criteria to maintain continuity of quality and aesthetics throughout Oro Valley Marketplace for the benefit of all tenants and the Town of Oro Valley. Based on the Oro Valley Zoning Code Revised (OVZCR), Chapter 28 and the Town’s Design Guidelines, Addendum A, for signage, the Master Sign Program will provide for signage that will vary throughout the development and will permit national and specialty retailers the opportunity to identify their business utilizing recognized trademarks, logos, and color palettes.

The Comprehensive Sign Plan will establish design guidelines for all tenants to follow. It will also establish a hierarchy of freestanding sign elements that will be used as an effective wayfinding system. All freestanding signage will follow a thematic design integrating architectural features, building materials, finishes and colors from the approved master architectural plan and color and material palette.

The objective of the Master Sign Program is to create guidelines that will enable Oro Valley Marketplace signage to become a unique and integrated component of the development, to maintain an attractive and appealing environment consistent with the Oro Valley community and surrounding Sonoran Desert, to maximize the potential economic value of the development to the Town from residents and visitors from throughout Southern Arizona, and to enhance the opportunity for Oro Valley Marketplace to become a successful regional retail center set within the desert foothills of the Catalina Mountains.

We trust that this submittal meets with your expectations and favorable approval.

ORO VALLEY MARKETPLACE

FREESTANDING SIGN CRITERIA

ORO VALLEY MARKETPLACE

General Requirements / Freestanding Signage

These criteria have been established by the Developer for the purpose of maintaining a continuity of quality and aesthetics throughout Oro Valley Marketplace for the mutual benefit of all Tenants, and to comply with the approved Master Sign Program for the development and regulations of the Town of Oro Valley Sign Ordinance. As used herein, the term “Developer” shall also include all future successors, assigns, and/or designated agents. Conformance to these criteria will be strictly enforced by the Town of Oro Valley.

I. GENERAL REQUIREMENTS

- A. The Town of Oro Valley shall review all freestanding signs for conformance with this criteria and the OVZCR. In the event that this criteria is silent and fails to address a specific sign type, definition, or specification pertaining to a sign installation, and/or operation and maintenance of a sign, the OVZCR shall regulate.
- B. Advertising devices such as attraction boards, posters, banners and flags shall not be permitted in addition to all prohibited sign types regulated by the OVZCR except that advertising posters shall be permitted to be displayed as part of the ST 3 Pedestrian Directory sign type.
- C. All Tenant signage shall be installed in accordance with the approved Master Sign Program.

II. SPECIFICATIONS - FREESTANDING SIGNS

- A. General Specifications
 - 1. All temporary freestanding signs and their installation shall comply with OVZCR regulations of the Town of Oro Valley Zoning Code.
 - 2. All electrical cabinets, conductors, transformers and other equipment required to illuminate a freestanding sign shall be concealed.

III. FREESTANDING SIGN DESIGN REQUIREMENTS

A. Sign Types

- 1. The ST 1 Entry Features shall be located at both the Tangerine Road and Oracle Road entrances to Oro Valley Marketplace. The project shall be identified with individual reverse pan channel letters reading, “ORO VALLEY MARKETPLACE” mounted above the roadway canopy. The letters shall be backlit against a white overcut letter surface utilizing white LED concealed within the reverse pan channel letterform. Tenant signage will consist of individual backlit illuminated reverse pan channel copy and/or logos per the Tenant’s corporate identification specifications. The Developer shall be responsible for and have sole authority in designating specific Tenant sign placement on the feature.

All signage on the ST 1 display shall be oriented towards Oracle Road and Tangerine Road only.

Illumination of the ST 1 display shall be turned off no later than 11 PM per OVZCR regulations or one hour after the Movie Theatre closes, whichever is later.

All ground illumination fixtures shall conform to OVZCR lighting regulations and shall be fixed in place so that the fixture(s) cannot be manually adjusted once their installation has been completed.

- 2. The ST 2 Multi-Tenant Primary Monument Signs shall be located at driveway intersections, perpendicular to the internal loop road as illustrated on the development site plan. All signs shall not be installed within any traffic visibility triangle.

Each ST 2 display shall consist of a multi-tenant sign section suspended between two stone clad support columns and topped with a decorative trim canopy. Tenant copy shall be routed through a solid, textured pan formed background backed with white acrylic with one (1”) inch thick clear acrylic applied copy and logos per Tenant’s corporate identification specifications. Copy and logo colors will be first surface translucent vinyl applied to the clear acrylic push thru.

Illumination will be internal, 800 ma “Cool White” fluorescent lighting consistent within all ST 2 displays. Supplemental ground illumination is prohibited.

The ST 2 displays shall be turned off at 11 PM per OVZCR regulation.

- 3. The ST 3 Pedestrian Directory displays shall be located throughout the project. They are intended to be placed at Trailheads, Bridge Crossings, Pedestrian Walkways, and the Transit Station. The

displays will include pedestrian oriented "wayfinding" information such as site maps and Tenant listings in addition to containing advertising posters on at least two sides. If advertising posters are not available, generic inserts shall be placed into the display so that facings do not appear as blank panels.

The locations and quantities illustrated on the site plan illustrate typical placements. Actual quantities and placements may vary. A maximum of twenty (20) ST 3 displays shall be authorized as part of this Master Sign Program. ST 3 displays shall not be installed within any traffic visibility triangle.

The ST 3 displays will be three-sided and installed above a stone base as illustrated. The copy reading, "DIRECTORY" shall be flat cut out, non-illuminated letters flush mounted to the background surface. The map and advertising poster sections shall be internally illuminated with 800 ma "Cool White" fluorescent lighting or another light source to be determined by the display manufacturer. All ST 3 displays will use the same lighting source to ensure consistency between displays. Supplemental ground illumination is prohibited.

The ST 3 displays shall be turned off at 11 PM per OVZCR regulation.

4. The ST 4 Vehicular Directional displays shall be located throughout the project. They are intended to be placed at traffic intersections and driveways as required to direct vehicular traffic throughout the project. The displays will include vehicular oriented "wayfinding" information such as Tenant listings with directional arrows. All copy will be reflective 3M Scotchlite™.

The locations and quantities illustrated on the site plan illustrate typical placements. Actual quantities and placements may vary. A maximum of thirty (30) ST 4 displays shall be authorized as part of this Master Sign Program. ST 4 displays shall not be installed within any traffic visibility triangle.

The ST 4 displays will be single or double sided non-illuminated displays installed above a stone base as illustrated. Supplemental ground illumination is prohibited.

- C. All sign installations shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Each sign shall be maintained in a new or like new condition at all times so as not to constitute a danger or hazard to public safety or become an eyesore to the community.

IV. GENERAL CONSTRUCTION and MAINTENANCE REQUIREMENTS

- A. All exterior signs shall be secured by concealed mounting mechanisms using non-corrosive fasteners.
- B. All signs shall be fabricated in a manner that prevents light leaks.



PRIMARY E.I.F.S. COLORS



ACCENT COLORS



HIGHLIGHT COLORS



VISTOSO STONE
STONE A



ROOF TILE
OLD SAGUARO BLEND by M.C.A.



NATURALLY WEATHERED COPPER

METAL ROOF - PATINA GREEN



CLIFFSIDE BROWN



COLORED CONCRETE



AUTUMN by SUPERLITE

COCOA BROWN by SUPERLITE



HARVEST BROWN by SUPERLITE

PLUM by SUPERLITE



PLUM by TRENDSTONE

PEBBLE BEACH by TRENDSTONE

MASONRY

MATERIAL/COLOR SCHEDULE				
KEY	MANUFACTURERS			NOTES BELOW
	NAME	NUMBER	COLOR	
P1	DUNN EDWARDS	DE 6201	RATTAN BASKET	
P2	DUNN EDWARDS	DEC 716	COURTYARD GREEN	
P3	DUNN EDWARDS	DE 6129	RUSTIC TAUPE	
P4	DUNN EDWARDS	DE 6137	TAN PLAN	
P5	DUNN EDWARDS	DE 6111	SMORES	
P6	DUNN EDWARDS	DE 6083	BADLANDS SUNSET	
P7	DUNN EDWARDS	DE 6122	DRY CREEK	
P8	DUNN EDWARDS	DE 6132	BIG STONE BEACH	
P9	DUNN EDWARDS	DE 6138	DARK SEPIA	
P10	DUNN EDWARDS	DEC 738	TRAVERTINE	
P11	DUNN EDWARDS	DE 6202	COCONUT SHELL	
P12	DUNN EDWARDS	DE 6076	WANDERING ROAD	
P13	DUNN EDWARDS	DE 6074	FRONTIER LAND	
P14	DUNN EDWARDS	DE 6075	WOOD LAKE	
P15	DUNN EDWARDS	DEA 188	BLACK BAY	
P16	DUNN EDWARDS	DEA 176	IRON RIVER	
P17	DUNN EDWARDS	DE 6014	DARK CHOCOLATE	
P18	DUNN EDWARDS	DEC 756	WEATHERED BROWN	
P19	DUNN EDWARDS	DE 6344	MOLASSES	
P20	DUNN EDWARDS	DE 5823	MICA CREEK	
P21	DUNN EDWARDS	DE 6019	BOHEMIAN JAZZ	
P22	DUNN EDWARDS	DE 5434	BAY FOG	
P23	DUNN EDWARDS	DE 5298	BUTTERSCOTCH SYRUP	
P24	DUNN EDWARDS	DE 5209	CINNABAR	
P25	DUNN EDWARDS	DE 5153	IRON ORE	
M1	SUPERLITE		AUTUMN	
M2	SUPERLITE		COCOA BROWN	
M3	SUPERLITE		HARVEST BROWN	
M4	SUPERLITE		PLUM	
M5	TRENDSTONE		PLUM	
M6	TRENDSTONE		PEBBLE BEACH	
C1	DAVIS COLORS		CLIFFSIDE BROWN	
C2	DAVIS COLORS		KAHLUA	
R1	-		PATINA GREEN	METAL ROOF
R2	M.C.A.		OLD SAGUARO BLEND	ROOF TILE
N1	-		NATURALLY WEATHERED COPPER	
S1	VISTOSO STONE		STONE A	
S2	VISTOSO STONE		STONE B	
S3	VISTOSO STONE		STONE C	

MATERIAL / COLOR SCHEDULE



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ORO VALLEY, ARIZONA

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PROJECT:	DESIGN NO.:	DATE:
TITLE:	SCALE:	REVISIONS:
DESIGNER:	SHEET NO.:	
SALES:		

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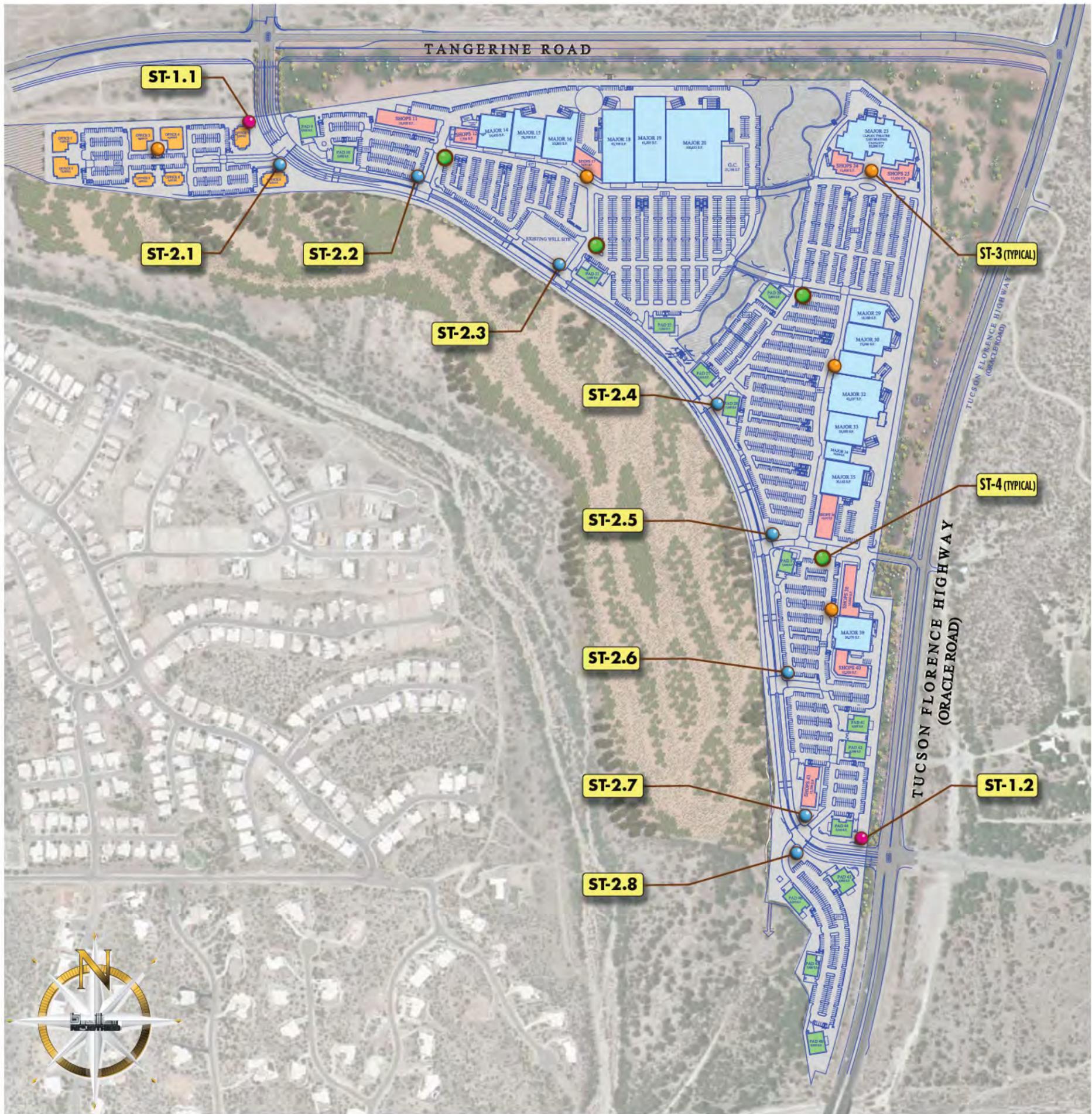
ORO VALLEY MARKETPLACE

Freestanding Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	QUANTITY	HEIGHT	SIZE	ILLUMINATION	MATERIALS
ST 1 Multi-Tenant Center ID and Entry Feature	Gateway	Center ID and multi-tenant identification to vehicular traffic entering the center	Tangerine Road and Oracle Road Entrances	2	Maintain 17'-9" clearance from roadway to the underside of canopy	90 SF of Center ID and 200 SF of Multi-Tenant Sign Area Exclusive of Architectural Backgrounds and Embellishments	Backlit and ground illumination	Vistoso Stone, Textured Masonry, Structural Steel, Powder Coat Finishes and Colored Acrylics
ST 2 Multi-Tenant Primary Monument Sign	Monument	Multi-tenant identification along the internal arterial roadway	Placed along the internal arterial roadway adjacent to primary driveways	8	Eight (8') feet to the top of the architectural embellishment	40 SF of Multi-Tenant Sign Area Exclusive of Architectural Embellishments	Internal illumination	Vistoso Stone, Textured Aluminum, Structural Steel, Powder Coat Finishes and Colored Push Thru Acrylic Tenant Copy
ST 3 Pedestrian Directory	Kiosk	Pedestrian Way Finding Within the Project	At Trailheads, Bridge Crossings, Pedestrian Walkways, and Transit Station	Twenty (20) Units (Maximum)	Eight feet four inches (8'-4") to the top of the architectural embellishment	22 SF of Sign Area Per Sign Face (3 Sided Display) Exclusive of Architectural Embellishments	Internal illumination	Aluminum, Structural Steel, Powder Coat Finishes and Tempered Glass
ST 4 Vehicular Directional	Monument	Vehicular Way Finding Within the Project	At traffic intersections and driveways as required to direct vehicular traffic throughout the project.	Thirty (30) Units (Maximum)	Six (6') feet the top of the architectural embellishment	6 SF of Directional Sign Area Exclusive of Architectural Embellishments	Non-illuminated	Vistoso Stone, Textured Aluminum, Structural Steel, Powder Coat Finishes and Reflective Vinyl Graphics

General Notes:

- 1) Signage on the ST 1 display shall be oriented towards Oracle Road and Tangerine Road only.
- 2) Illumination of the ST 1 display shall be turned off no later than 11 PM pursuant with OVZCR regulations or one hour after the Movie Theatre closes, whichever is later. All ground illumination fixtures used to illuminate wall surfaces and column features on the ST 1 display shall conform with OVZCR lighting regulations and shall be fixed so that the fixture cannot be manually adjusted once installation has been completed.
- 3) The ST 2 and ST 3 displays shall be turned off at 11 PM per OVZCR regulation. Signs are to be internally illuminated. Supplemental ground illumination is prohibited.
- 4) The ST 3 display may include advertising posters.



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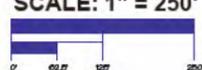
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LEGEND

- MAJOR TENANT
- SHOPS
- PADS
- OFFICES

SCALE: 1" = 250'



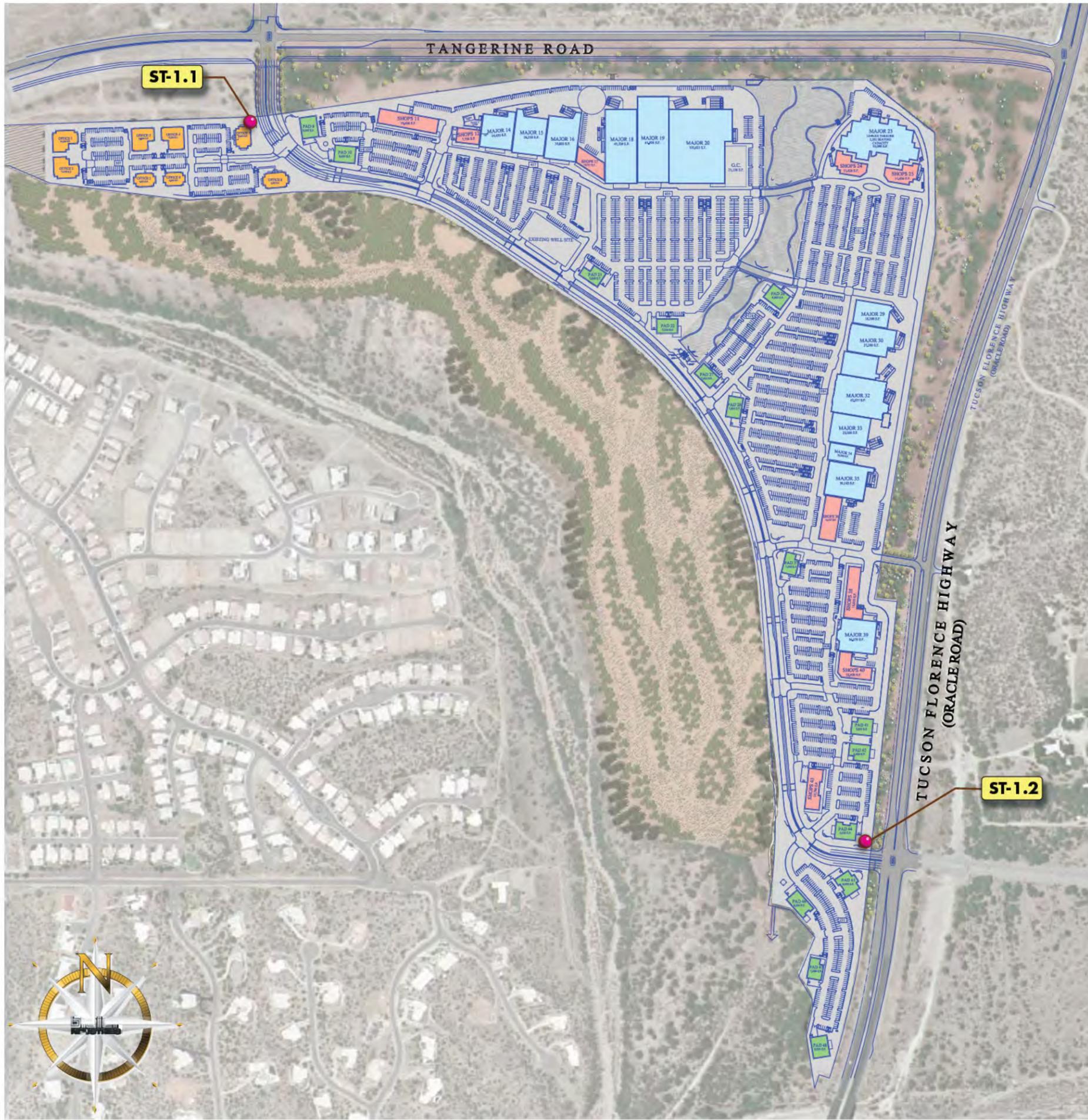
PROJECT:
 Oro Valley Marketplace
 Oro Valley, Az

TITLE:
 SITE PLAN

DESIGNER: Dan Horton	SALES: Paul Bleier
DESIGN NO.: 2004-A-001	DATE: 11/15/06
SCALE: AS NOTED	REVISIONS:
SHEET NO.: SP1	

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 APPROVED BY:

- ST-1** Multi-Tenant, Center ID, Entry Feature
- ST-2** Multi-Tenant Primary Monument Sign
- ST-3** Pedestrian Directory (Typical)
- ST-4** Vehicular Directional (Typical)



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LEGEND

- MAJOR TENANT
- SHOPS
- PADS
- OFFICES

SCALE: 1" = 250'



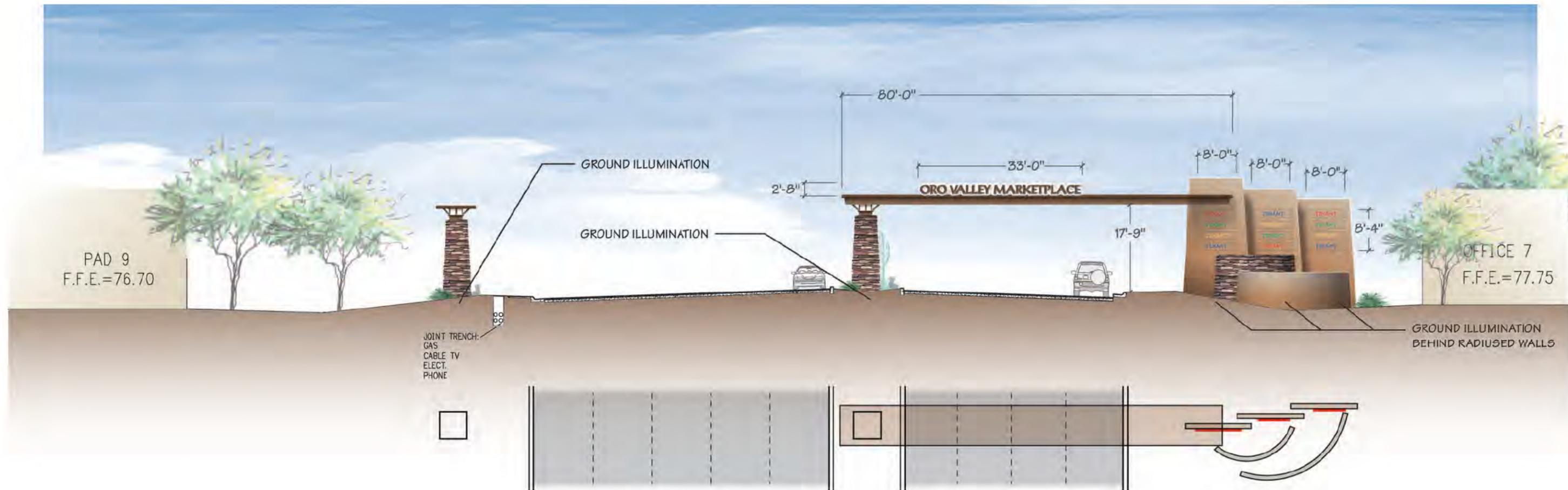
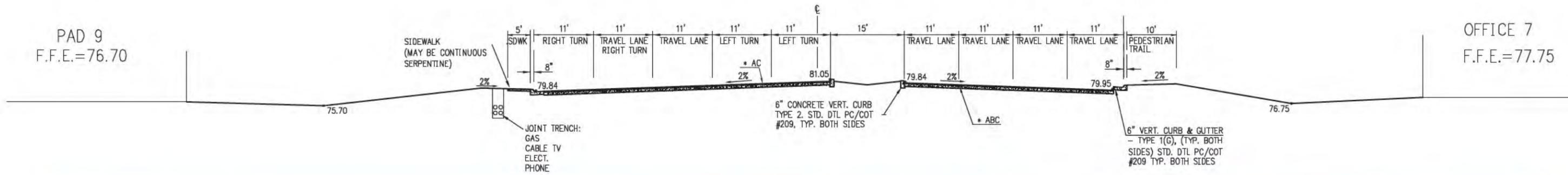
PROJECT:
 Oro Valley Marketplace
 Oro Valley, Az

TITLE:
 SITE PLAN - ST1

DESIGNER: Dan Horton	SALES: Paul Bleier
DESIGN NO.: 2004-A-001	DATE: 11/15/06
SCALE: AS NOTED	REVISIONS:
SHEET NO.: SP1.1	

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 APPROVED BY:

ST-1 Multi-Tenant, Center ID, Entry Feature



ENTRYWAY @ TANGERINE ROAD

SCALE: 1" = 20'-0"

SIGN DESIGN REQUIREMENTS:

The ST 1 Entry Features shall be located at both the Tangerine Road and Oracle Road entrances to Oro Valley Marketplace. The project shall be identified with individual reverse pan channel letters reading, "ORO VALLEY MARKETPLACE" mounted above the roadway canopy. The letters shall be backlit against a white overcut letter surface utilizing white LED concealed within the reverse pan channel letterform. Tenant signage will consist of individual reverse pan channel back-lit illuminated copy and/or logos per the Tenant's corporate identification specifications. The Developer shall be responsible for and have sole authority in designating specific Tenant sign placement on the feature.

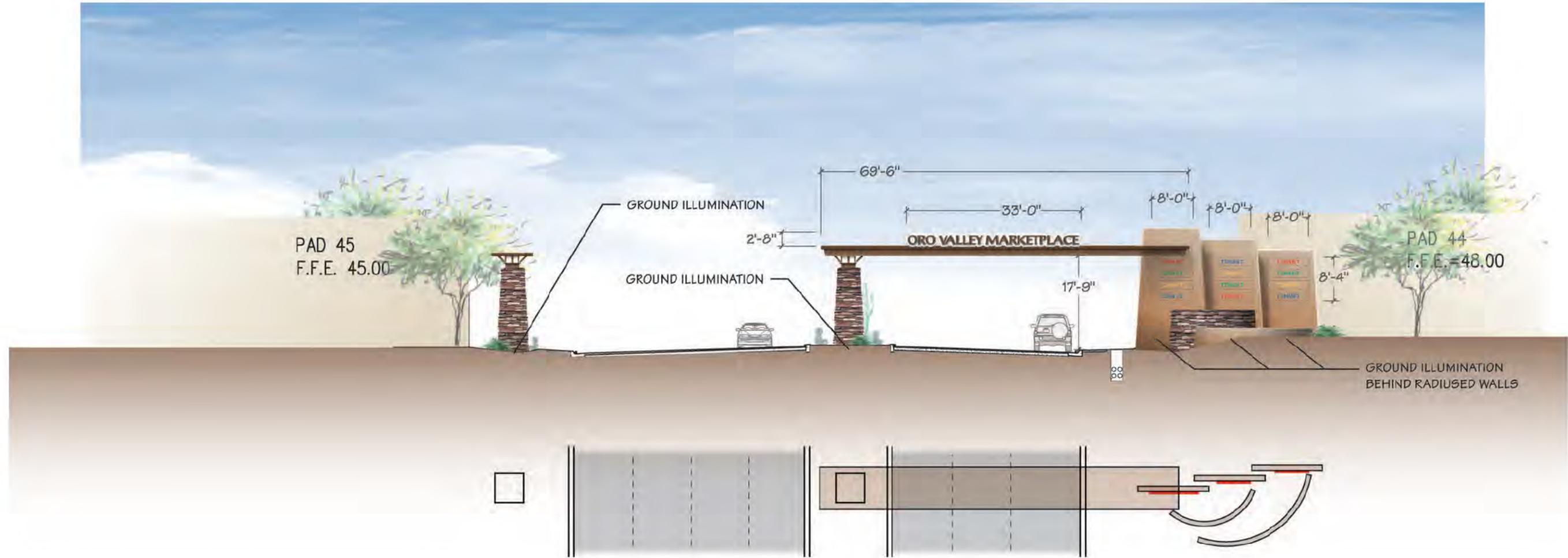
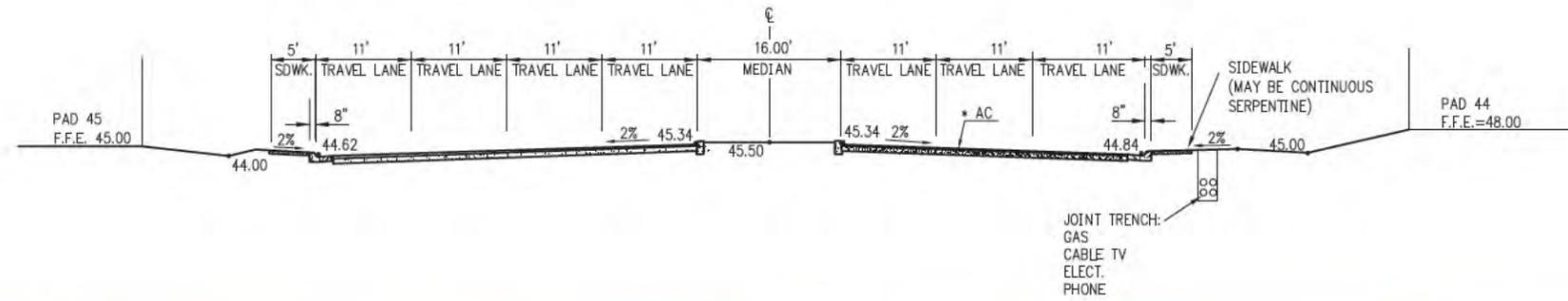
All signage on the ST 1 display shall be oriented towards Oracle Road and Tangerine Road only. Illumination of the ST 1 display shall be turned off no later than 11 PM per OVZCR regulations or one hour after the Movie Theatre closes, whichever is later.

All ground illumination fixtures shall conform to OVZCR lighting regulations and shall be fixed in place so that the fixture(s) cannot be manually adjusted once their installation has been completed.



PROJECT:	9650 WEST PROSPERITY STREET
DESIGNER:	TOLLESON, ARIZONA 85353
SALES:	SALES@BLEIERINDUSTRIES.COM
TITLE:	17
DATE:	7
SCALE:	1" = 20'-0"
REVISIONS:	
PHONE:	602-395-0753

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ENTRYWAY @ ORACLE ROAD

SCALE: 1" = 20'-0"

SIGN DESIGN REQUIREMENTS:

The ST 1 Entry Features shall be located at both the Tangerine Road and Oracle Road entrances to Oro Valley Marketplace. The project shall be identified with individual reverse pan channel letters reading, "ORO VALLEY MARKETPLACE" mounted above the roadway canopy. The letters shall be backlit against a white overcut letter surface utilizing white LED concealed within the reverse pan channel letterform. Tenant signage will consist of individual reverse pan channel back-lit illuminated copy and/or logos per the Tenant's corporate identification specifications. The Developer shall be responsible for and have sole authority in designating specific Tenant sign placement on the feature.

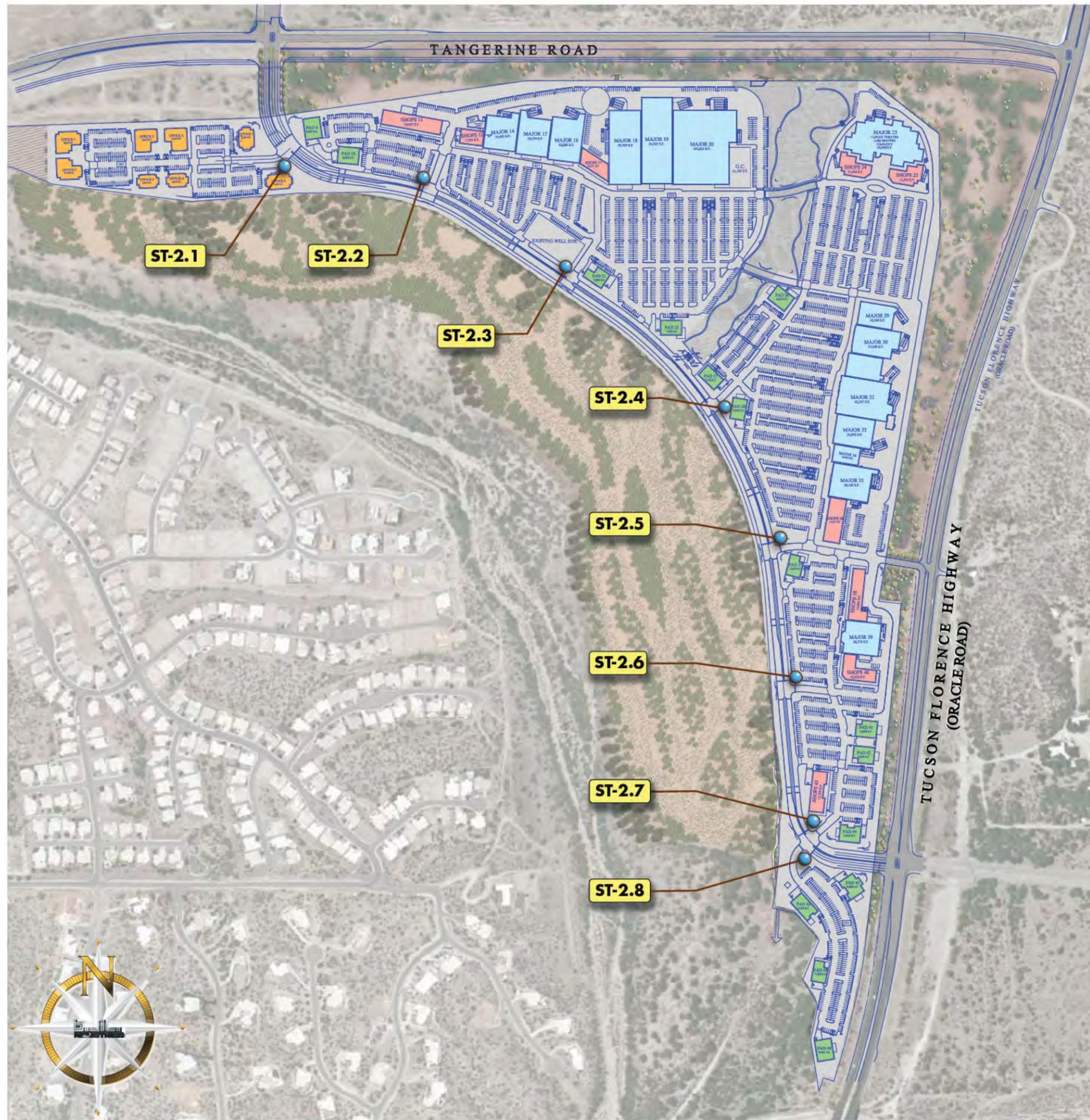
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All ground illumination fixtures shall conform to OVZCR lighting regulations and shall be fixed in place so that the fixture(s) cannot be manually adjusted once their installation has been completed.



PROJECT:	9650 WEST TOLLESON	DESIGN NO.:	ROOSEVELT STREET	DATE:	03/11/17
TITLE:	02	SCALE:	AS SHOWN	REVISIONS:	
DESIGNER:	SALES	SHEET NO.:	044-3117		
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LEGEND

- MAJOR TENANT
- SHOPS
- PADS
- OFFICES

SCALE: 1" = 250'



PROJECT:
 Oro Valley Marketplace
 Oro Valley, Az

TITLE:
 SITE PLAN - 012

DESIGNER: Dan Horton	SALES: Paul Bleier
DESIGN NO.: 2004-A-001	DATE: 11/15/06
SCALE: AS NOTED	REVISIONS:
SHEET NO.: SP1.2	

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APPROVED BY:

ST-2 Multi-Tenant Primary Monument Sign



ST-2 Multi-Tenant Primary Monument Sign

SIGN DESIGN REQUIREMENTS

The ST 2 Multi-Tenant Primary Monument Signs shall be located at driveway intersections, perpendicular to the internal loop road as illustrated on the development site plan. All signs shall not be installed within any traffic visibility triangle.

Each ST 2 display shall consist of a multi-tenant sign section suspended between two stone clad support columns and topped with a decorative trim canopy. Tenant copy shall be routed through a solid, textured pan formed background backed with white acrylic with one (1") inch thick clear acrylic applied copy and logos per Tenant's corporate identification specifications. Copy and logo colors will be first surface translucent vinyl applied to the clear acrylic push thru.

Illumination will be internal, 800 ma "Cool White" fluorescent lighting consistent within all ST 2 displays. Supplemental ground illumination is prohibited.

The ST 2 displays shall be turned off at 11 PM per OVZCR regulation.

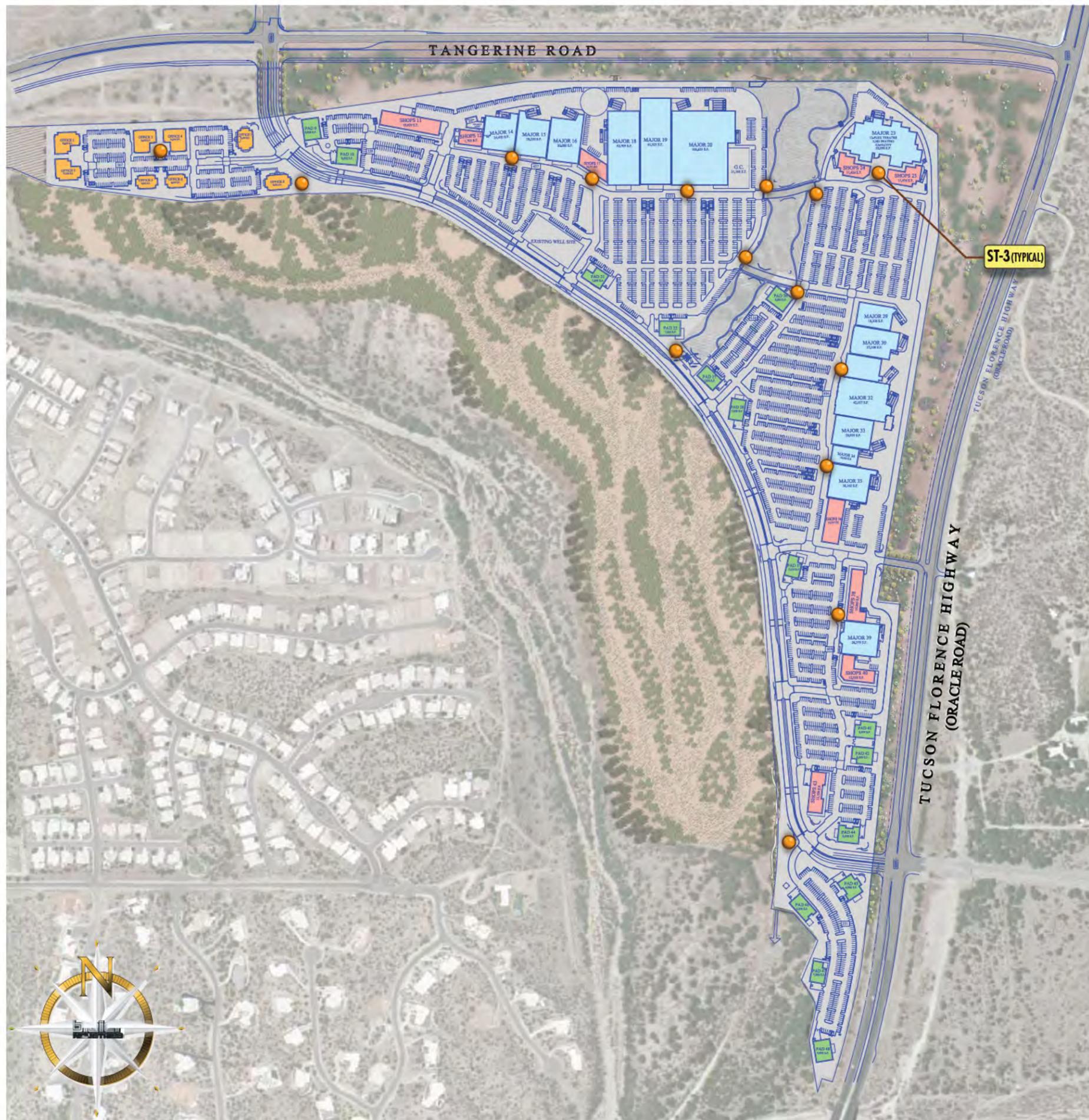
ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA



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LEGEND

- MAJOR TENANT
- SHOPS
- PADS
- OFFICES

SCALE: 1" = 250'



PROJECT: Oro Valley Marketplace Oro Valley, Az	
TITLE: SITE PLAN - ST3	
DESIGNER: Dan Horton	SALES: Paul Bleier
DESIGN NO.: 2004-A-001	DATE: 11/15/06
SCALE: AS NOTED	REVISIONS:
SHEET NO.: SP1.3	

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 APPROVED BY:


ST-3 Pedestrian Directory (Typical)

1. SIGN LOCATIONS AND QUANTITIES ILLUSTRATED ARE "TYPICAL". ACTUAL LOCATIONS AND QUANTITIES MAY VARY.
2. A MAXIMUM OF TWENTY (20) DISPLAYS SHALL BE PERMITTED FOR THE PROJECT.
3. ADVERTISING POSTERS SHALL BE PERMITTED AS PART OF THE ST-3 DISPLAY.
4. INTERNAL ILLUMINATION SHALL BE TURNED OFF AT 11:00 PM PER OVZCR REGULATIONS.

3 SIDED - PEDESTRIAN DIRECTORY

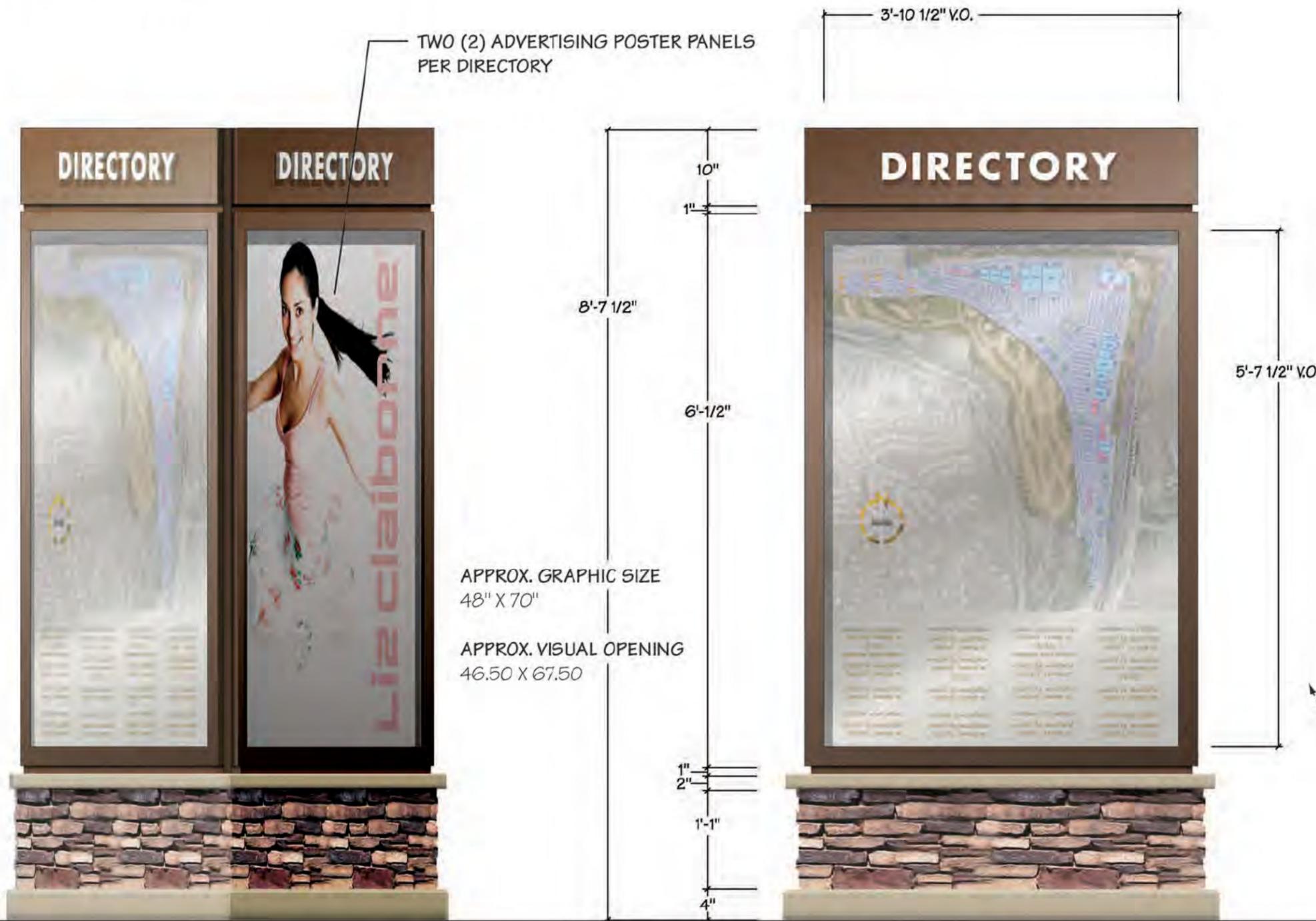
SIGN DESIGN REQUIREMENTS

The ST 3 Pedestrian Directory displays shall be located throughout the project. They are intended to be placed at Trailheads, Bridge Crossings, Pedestrian Walkways, and the Transit Station. The displays will include pedestrian oriented "wayfinding" information such as site maps and Tenant listings in addition to containing advertising posters on at least two sides. If advertising posters are not available, generic inserts shall be placed into the display so that facings do not appear as blank panels.

The locations and quantities illustrated on the site plan illustrate typical placements. Actual quantities and placements may vary. A maximum of twenty (20) ST 3 displays shall be authorized as part of this Master Sign Program. ST 3 displays shall not be installed within any traffic visibility triangle.

The ST 3 displays will be three-sided and installed above a stone base as illustrated. The copy reading, "DIRECTORY" shall be flat cut out, non-illuminated letters flush mounted to the background surface. The map and advertising poster sections shall be internally illuminated with 800 ma "Cool White" fluorescent lighting or another light source to be determined by the display manufacturer. All ST 3 displays will use the same lighting source to ensure consistency between displays. Supplemental ground illumination is prohibited.

The ST 3 displays shall be turned off at 11 PM per OVZCR regulation.



TOP VIEW - SCALE 3/4" = 1'-0"

CORNER VIEW - SCALE 3/4" = 1'-0"

FACE VIEW - SCALE 3/4" = 1'-0"

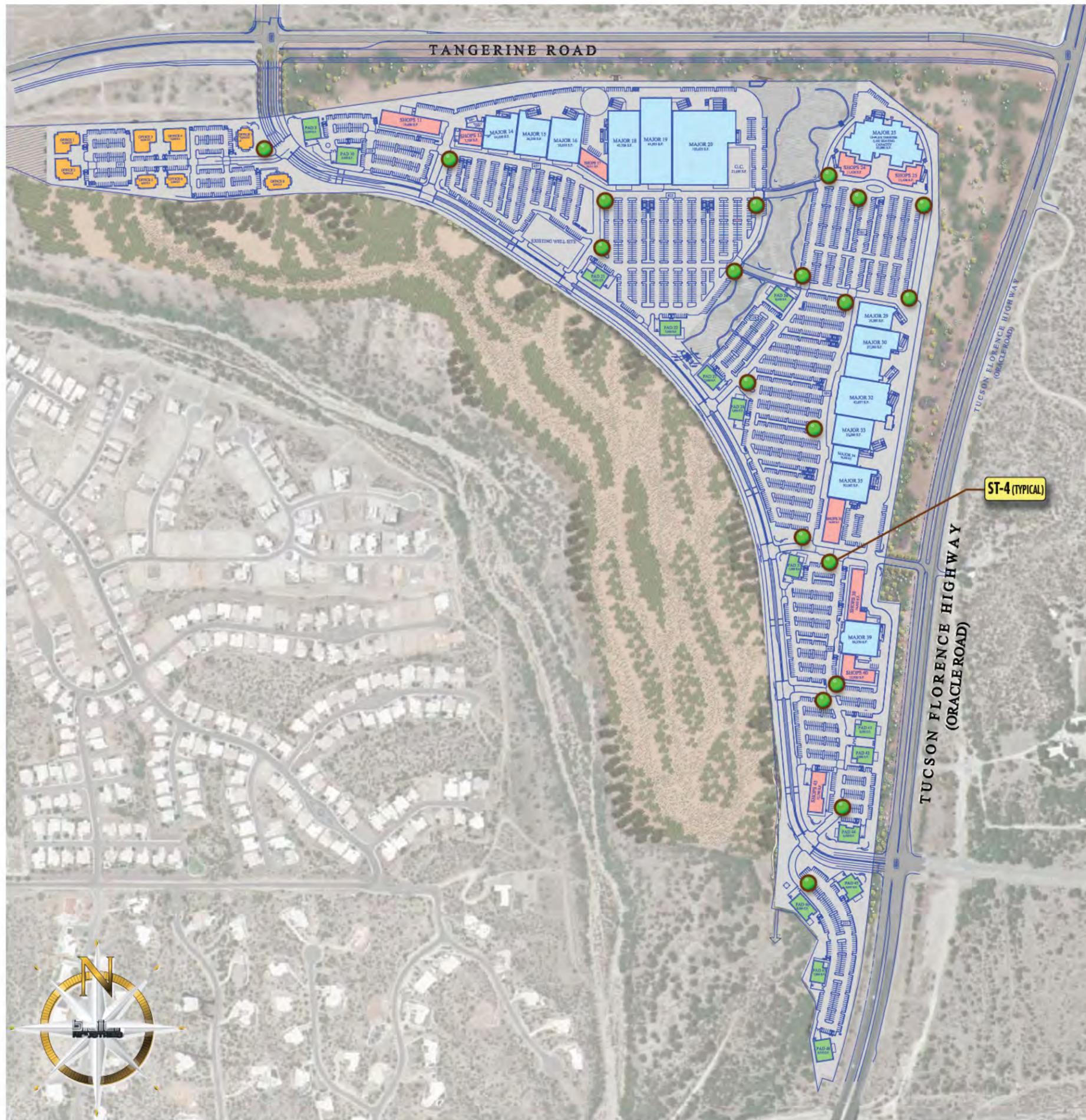
APPROX. GRAPHIC SIZE
48" X 70"

APPROX. VISUAL OPENING
46.50 X 67.50



PROJECT:	DESIGNER:	DATE:
9650 WEST ROOSEVELT STREET	SALES@BLEIERINDUSTRIES.COM	
SCALE:	REVISIONS:	
602-944-3117		
TITLE:	SHEET NO.:	
	602-395-0753	
DESIGNER:	SALES:	

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Developer:

 2425 East Camelback Road • Suite 750 • Phoenix, Arizona 85016
 PHONE: 602-966-0900

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LEGEND

- MAJOR TENANT
- SHOPS
- PADS
- OFFICES

SCALE: 1" = 250'

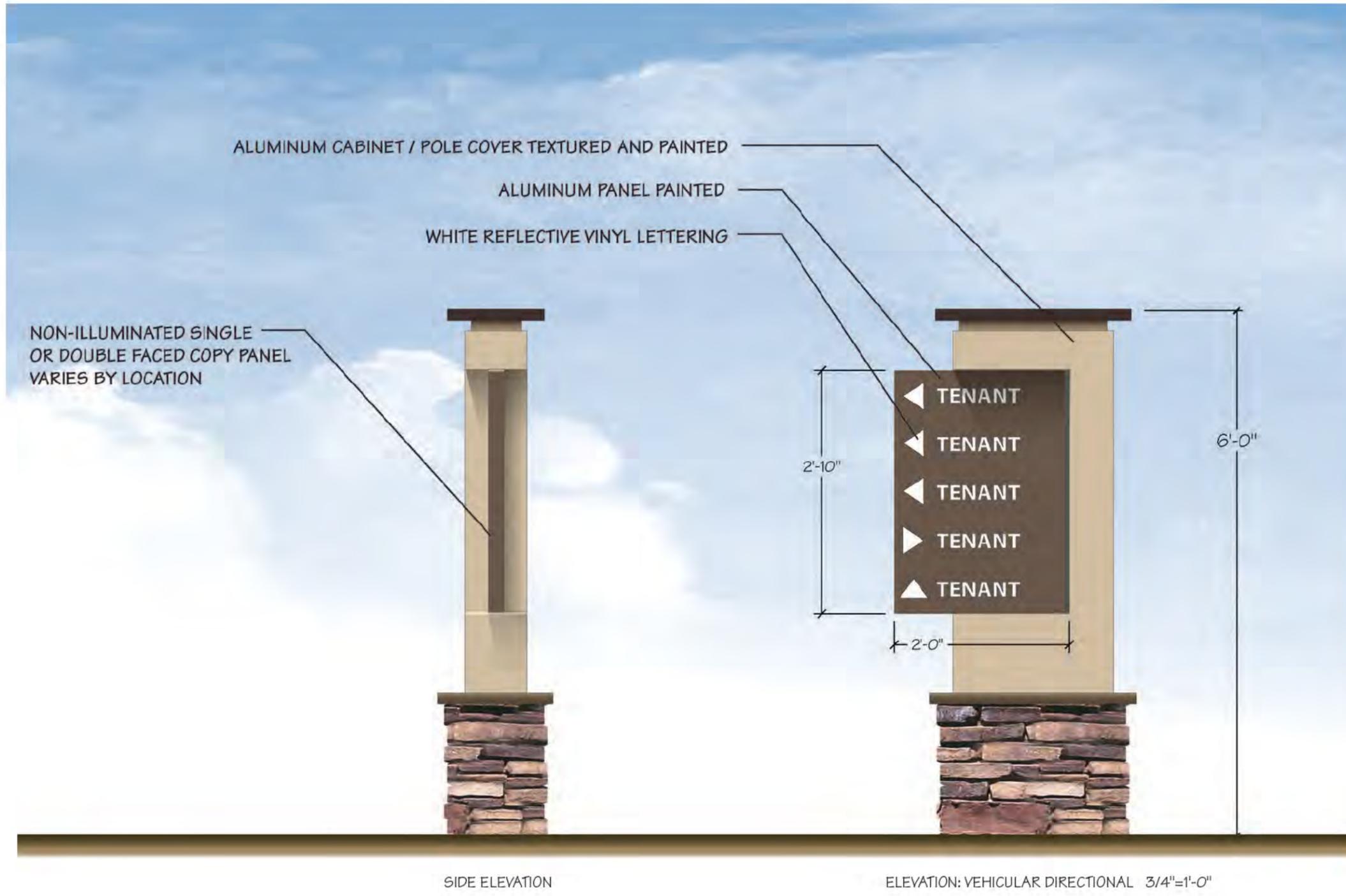


PROJECT:	
Oro Valley Marketplace Oro Valley, Az	
TITLE:	
SITE PLAN - ST4	
DESIGNER:	SALES:
Dan Horton	Paul Bleier
DESIGN NO:	DATE:
2004-A-001	11/15/06
SCALE:	REVISIONS:
AS NOTED	
SHEET NO:	
SP1.4	

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 APPROVED BY:


ST-4 Vehicular Directional (Typical)

1. SIGN LOCATIONS ILLUSTRATED AND QUANTITIES ARE "TYPICAL". ACTUAL LOCATIONS AND QUANTITIES MAY VARY.
2. A MAXIMUM OF THIRTY (30) DISPLAYS SHALL BE PERMITTED FOR THE PROJECT.
3. ALL SIGNS ARE NON-ILLUMINATED.



SIGN DESIGN REQUIREMENTS

The ST 4 Vehicular Directional displays shall be located throughout the project. They are intended to be placed at traffic intersections and driveways as required to direct vehicular traffic throughout the project. The displays will include vehicular oriented "wayfinding" information such as Tenant listings with directional arrows. All copy will be reflective 3M Scotchlite.

The locations and quantities illustrated on the site plan illustrate typical placements. Actual quantities and placements may vary. A maximum of thirty (30) ST 4 displays shall be authorized as part of this Master Sign Program. ST 4 displays shall not be installed within any traffic visibility triangle.

The ST 4 displays will be single or double sided non-illuminated displays installed above a stone base as illustrated. Supplemental ground illumination is prohibited.



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ORO VALLEY MARKETPLACE

BUILDING SIGN CRITERIA

ORO VALLEY MARKETPLACE

General Requirements / Building Signage

These criteria have been established by the Developer for the purpose of maintaining a continuity of quality and aesthetics throughout Oro Valley Marketplace for the mutual benefit of all Tenants, and to comply with the approved Master Sign Program for the development and regulations of the Town of Oro Valley Sign Ordinance. As used herein, the term "Developer" shall also include all future successors, assigns, and/or designated agents. ***In addition to the criteria established herein, Tenants are advised that the Developer maintains supplemental private restrictions that regulate the design, placement, and type of all Tenant signage. Tenants are required to contact and obtain from the Developer their approval prior to any sign permit submittal. As part of the Tenant's sign permit submittal, the Tenant shall provide an approval letter from the Developer and/or an approved set of design drawings signed by the Developer acknowledging that the specified signage conforms to the Developer's supplemental private restrictions regulating the design, placement, and type of Tenant signage.*** Conformance to these criteria will be strictly enforced by the Town of Oro Valley.

I. GENERAL REQUIREMENTS

- A. The Town of Oro Valley shall review all signs for conformance with this criteria and the OVZCR. In the event that this criteria is silent and fails to address a specific sign type, definition, or specification pertaining to a sign installation, and/or operation and maintenance of a sign, the OVZCR shall regulate.
- B. Advertising devices such as attraction boards, posters, banners and flags shall not be permitted in addition to all prohibited sign types regulated by the OVZCR except that advertising posters shall be permitted to be displayed as part of the Movie Theatre's exterior poster case displays and as part of the ST 3 Pedestrian Directory sign type.
- C. All Tenant signage shall be installed in accordance with the approved Master Sign Program.

II. SPECIFICATIONS - TENANT WALL SIGNS

- A. General Specifications
 - 1. All temporary signs and their installation shall comply with OVZCR regulations of the Town of Oro Valley Zoning Code.

- 2. Sign installations utilizing exposed raceways, crossovers and electrical conduit shall be prohibited except for special conditions where physical conditions exist. Should this occur, the Planning and Zoning Administrator for the Town of Oro Valley shall have the sole and separate discretion in varying any provision herein.
- 3. All electrical cabinets, conductors, transformers and other equipment required to illuminate a sign shall be concealed.
- 4. Window signs and painted lettering shall be permitted in accordance with OVZCR regulations of the Town of Oro Valley Zoning Code.
- 5. All signs or devices advertising an individual use, business or building shall be attached to the building within the Tenant's leased premise. Where building elevations contain architectural features and/or articulation that require the Tenant's signage to be positioned beyond the Tenant's leased premise, the Planning and Zoning Administrator for the Town of Oro Valley shall have the sole and separate discretion in approving the sign placement.
- 6. Contrasting background building colors and/or building materials shall not be used in a manner so as to create a border or distinct background used to delineate Tenant signage. Exception to this requirement shall be the "Blue Wedge" design illustrated herein and specifically approved as part of the Master Sign Program.

III. DESIGN REQUIREMENTS

Individual illuminated letters and logos may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or the combination of both face lit and backlit illumination methods. Letters and logos shall be mounted to building wall surfaces, architectural features and/or articulated wall sections. Electrical connections shall be concealed to remote and/or self-contained transformers and power sources wherever possible.

A. Sign Area

- 1. The maximum sign area per building shall be calculated by multiplying one and one-half (1.50) times the length of the storefront(s) and/or elevation(s) occupied by the Tenant without limitation as to number of sign elements per building elevation. No more than two (2) elevations may be utilized for signage by a Tenant per OVZCR regulations. Section III.A.4 governs maximum aggregate sign area on any single elevation. Sign area for signage placed on walls facing Tangerine Road or Oracle Road shall be calculated by multiplying one (1.0) times the length of the elevation occupied by the tenant for buildings within 300' of the street per OVZCR standards.
- 2. Pursuant to OVZCR definition, sign area shall be measured by multiplying the overall height of the tallest letter by the overall length of the total sign including the logo. The Planning and Zoning Administrator may approve the calculation of signs by measuring the sum of the smallest rectangular

shape needed to enclose each letter or symbol if special circumstances arise that would warrant the need to calculate differently.

3. As a minimum allowance, all Shop Tenants shall be permitted a minimum of thirty-two (32) square feet of sign area per elevation upon which signage is placed.
4. Major Tenants occupying less than 9999 SF shall be limited to a maximum aggregate sign area of two hundred (200 SF) square feet per elevation upon which signage is placed subject to allowable sign area limitations established herein. Major Tenants occupying 10000 SF through 49999 shall be limited to a maximum aggregate sign area of three hundred (300 SF) square feet per elevation upon which signage is placed subject to allowable sign area limitations established herein. Major Tenants occupying greater than 50000 SF shall be limited to a maximum aggregate sign area of five hundred (500 SF) square feet per elevation upon which signage is placed subject to allowable sign area limitations established herein.

B. Letter Height and Placement Restrictions

1. Majors and Pad Tenants occupying less than 9999 SF shall be limited to a maximum letter height of thirty six (36") inches. Shop Tenants shall be limited to a maximum letter height of twenty four (24") inches. Majors occupying 10000 SF through 49999 SF shall be limited to a maximum letter height of sixty (60") inches. Majors occupying greater than 50000 SF shall be limited to a maximum letter height of sixty (60") inches. Logos shall not be subject to maximum letter height restrictions herein established, however, shall be included in sign area computations. All Tenants shall be permitted to display their trademarked corporate identification and logos subject to sign area limitations and design specifications contained in the approved Master Sign Program. Signage shall be designed to be aesthetically balanced with surrounding building features, architectural embellishments and articulation developed to create the thematic design of Oro Valley Marketplace.
2. Length of Sign on Wall Surface: Signage shall not exceed eighty (80%) percent of the building elevation, architectural embellishment and/or articulation upon which it is placed.
3. Shop Tenant signage shall not exceed eighty (80%) percent of the Tenant's leased storefront length when placed adjacent to another shop Tenant's sign sharing a common wall background.

C. Letter Style and/or Logo Restrictions

1. Copy and/or logos utilized shall be Tenant's choice.
2. Tenant signage shall include only the approved vinyl colors specified herein as part of the approved Master Sign Program. Tenants, whose copy and/or logos are trademarked, may utilize any vinyl and/or acrylic color required to duplicate the trademarked copy and/or logo.

3. Tenants shall be required to substantiate trademarked copy and/or logos to the Town of Oro Valley as part of the Tenant's sign permit submittal.

D. Illumination

1. Tenant building signage shall be internally illuminated, backlit to create a silhouette, and/or a combination of face lit and backlit lighting methods mentioned herein. For consistency of appearance and intensity, backlit illuminated letters and/or combination of face lit and backlit illuminated letters shall use 4500° White Neon Tubing or 4400 K white LED's or the in effect standard of the Zoning Code adopted by the Town of Oro Valley for the source of illumination.

For internally illuminated letters and logos, colored neon tubing and/or colored LED lighting shall be utilized to illuminate vinyl and/or acrylic faces in a manner that provides a visual color consistency and continuity throughout Oro Valley Marketplace.

2. Exposed neon is not permitted. For the Theatre and Shop Tenants located in the immediate proximity to the theatre district, flexible LED tube lighting may be utilized.
3. Illuminated wall signs shall be turned off no later than one hour after the close of the business in accordance with OVZCR regulations.

E. Under Canopy Blade Sign

1. All under canopy blade sign copy shall consist of flat cut out graphics and shall be surface applied to both sides of the display.
2. The blade sign shall be suspended and/or projected using a mechanism consistent with other under canopy blade signs throughout the Oro Valley Marketplace as specified.

IV. GENERAL CONSTRUCTION and MAINTENANCE REQUIREMENTS

- A. All exterior signs shall be secured by concealed mounting mechanisms using non-corrosive fasteners.
- B. All signs shall be fabricated in a manner that prevents light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Upon removal of any wall sign from a Tenant space, visible damage to the exterior wall surface and/or building façade shall be repaired within thirty (30) days of the sign's removal.
- F. Each sign shall be maintained in a new or like new condition at all times so as not to constitute a danger or hazard to public safety or become an eyesore to the community.



Back-Lit (Halo) illumination



Combination Back-Lit (Halo) and Face-Lit illumination



Face-Lit illumination



Face-Lit illumination on Custom Raceway Enclosure

ORO VALLEY MARKETPLACE

ORO VALLEY, ARIZONA

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Translucent Films for internally illuminated sign applications

Note that the elements used in sign construction, including sources of illumination, adhesives and substrates, can affect color. In most instances, color variation is slight, but certain elements will have a more noticeable effect, particularly on shades of white. PANTONE® color numbers are based on reflective light measurements of product samples applied to a standard white substrate.

3M™ Scotchcal™ Translucent Graphic Films

	White 3630-20, 3632-20
	Ivory 3630-015
	Light Beige 3630-140 PANTONE® 468 C
	Silver 3630-121 PANTONE 877 C
	Gold Nugget 3630-141
	Gold Metallic 3630-131 PANTONE 873 C
	Bronze 3630-129 PANTONE 471 C

	Shadow Gray 3630-71 PANTONE 409 C
	Silver Gray 3630-51 PANTONE 430 C
	State Gray 3630-61
	Black 3630-22*, 3632-22 PANTONE Process Black C
	Duranodic 3630-69* PANTONE Black C
	Dark Brown 3630-63 PANTONE 4625 C
	Rust Brown 3630-63 PANTONE 483 C
	Light Rust Brown 3630-109 PANTONE 181 C
	Burgundy 3630-49, 3632-49 PANTONE 188 C
	Raspberry 3630-133 PANTONE 220 C

	Vivid Rose 3630-78 PANTONE 206 C
	Rose Mauve 3630-68 PANTONE 190 C
	Cardinal Red 3630-53, 3632-53
	Dark Red 3630-73, 3632-73
	Red 3630-33, 3632-33
	Regal Red 3630-83, 3632-83 PANTONE 187 C
	Poppy Red 3630-143
	Light Tomato Red 3630-43, 3632-43
	Orange 3630-44, 3632-44 PANTONE 1655 C
	Tangerine 3630-84 PANTONE 151 C

	Kumquat Orange 3630-74 PANTONE 1375 C
	Marigold 3630-75
	Sunflower 3630-25, 3632-25 PANTONE 123 C
	Golden Yellow 3630-125 PANTONE 1235 C
	Yellow 3630-015, 3632-015 PANTONE 109 C
	Light Lemon Yellow 3630-115 PANTONE 3965 C
	Brilliant Green 3630-106 PANTONE 376 C
	Lime Green 3630-136 PANTONE 368 C
	Vivid Green 3630-156, 3632-156 PANTONE 355 C
	Light Kelly Green 3630-146 PANTONE 347 C

	Bright Jade Green 3630-116
	Green 3630-26, 3632-26 PANTONE 349 C
	Holly Green 3630-76, 3632-76
	Dark Emerald Green 3630-126, 3632-126 PANTONE 3435 C
	Turquoise 3630-236 PANTONE 3282 C
	Teal Green 3630-246, 3632-246 PANTONE 322 C
	Evening Blue 3630-317 PANTONE 658 C
	Light European Blue 3630-147
	Olympic Blue 3630-57
	Process Blue 3630-337

	Intense Blue 3630-127, 3632-127 PANTONE 300 C
	Bright Blue 3630-167, 3632-167 PANTONE 2945 C
	Bristol Blue 3630-97, 3632-97 PANTONE 294 C
	Sultan Blue 3630-157, 3632-157 PANTONE 288 C
	European Blue 3630-137 PANTONE 261 C
	Blue 3630-36, 3632-36 PANTONE 281 C
	Royal Blue 3630-87, 3632-87 PANTONE 274 C
	Plum Purple 3630-128 PANTONE 2622 C
	Intense Magenta 3630-118 PANTONE 241 C
	Pink 3630-108 PANTONE 224 C

3M Light Management Films

	3M™ Dual-Color Film White 3635-210**
	3M™ Dual-Color Film Black 3635-212**
	3M™ Light Enhancement Film Matte White 3635-190***
	3M™ Diffuser Film White (30% light transmission) 3635-30****
	3M™ Diffuser Film White (60% light transmission) 3635-70****
	3M™ Day/Night Film Smoke Gray 3635-91
	3M™ Blockout Film White Matte 3635-218
	3M™ Blockout Film Black Matte 3635-216

The vinyl colors represented herein shall be used on all tenant signage not protected by trademark.

EXCEPTION:

Tenants with trademarked copy and/or logos shall be permitted to use any vinyl and/or acrylic color(s) necessary to duplicate the trademark and are not subject to limitations or restrictions to the color palette.

ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA



PROJECT:	DESIGN NO.:	DATE:
TITLE:	SCALE:	REVISIONS:
DESIGNER:	SALES:	

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ORO VALLEY MARKETPLACE

Building Sign Matrix / Major Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Major Tenant with occupancy of 50,000 SF or greater	Wall Mounted Signs	Tenant Identification	Two (2) Elevations Maximum	60" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Frontage and/or Elevation Upon Which Signage is Placed 1.0 SF / Linear Foot of Building Frontage and/or Elevation within 300' of Oracle Road or Tangerine Road 500 SF Maximum Sign Area Per Elevation	Interior, Backlit or a combination thereof. 4500° White Neon or 4400K White LED's for Backlit or Combination Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Major Tenant with occupancy greater than 10,000 SF through 49,999 SF	Wall Mounted Signs	Tenant Identification	Two (2) Elevations Maximum	60" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Frontage and/or Elevation Upon Which Signage is Placed 1.0 SF / Linear Foot of Building Frontage and/or Elevation Within 300' of Oracle Road or Tangerine Road 300 SF Maximum Sign Area Per Elevation	Interior, Backlit or a combination thereof. 4500° White Neon or 4400K White LED's for Backlit or Combination Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Major Tenant with occupancy 9,999 SF or less	Wall Mounted Signs	Tenant Identification	Two (2) Elevations Maximum	36" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Frontage and/or Elevation Upon Which Signage is Placed 1.0 SF / Linear Foot of Building Frontage and/or Elevation if Within 300' of Oracle Road or Tangerine Road 200 SF Maximum Sign Area Per Elevation	Interior, Backlit or a combination thereof. 4500° White Neon or 4400K White LED's for Backlit or Combination Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
All Major Tenants	Under Canopy Blade Sign (Optional)	Tenant Identification	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	6.67 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

Letter Style and/or Logo Restrictions:

- Copy and/or logos utilized shall be Tenant's choice.
- Tenant signage shall include only the approved vinyl colors specified herein as part of the approved Master Sign Program. Tenants, whose copy and/or logos are trademarked may utilize any vinyl and/or acrylic color required to duplicate the trademarked copy and/or logo.

Illumination

- Tenant building signage shall be internally illuminated, backlit to create a silhouette, and/or a combination of face lit and backlit lighting methods mentioned herein. For consistency of appearance and intensity, backlit illuminated letters and/or combination of face lit and backlit illuminated letters shall use 4500° white neon or 4400 K white LED's for the source of illumination. For internally illuminated letters and logos, colored neon tubing and/or colored LED lighting may be utilized to illuminate vinyl and/or acrylic faces in a manner that provides a visual color consistency and continuity throughout Oro Valley Marketplace.
- Exposed neon is not permitted.
- Illuminated wall signs shall be turned off no later than one hour after the close of the business in accordance with OVZCR regulations except that wall signs facing Tangerine Road or Oracle Road shall be turned off at 11:00 PM or one (1) hour after the movie theater closes, whichever is later.



MAJOR AT WEST/FRONT ELEVATION BUILDING GROUP NO. - SCALE 1" = 30'-0"



MAJOR AT WEST/FRONT ELEVATION BUILDING GROUP NO. - SCALE 1" = 30'-0"

III. DESIGN REQUIREMENTS

Individual illuminated letters and logos may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or the combination of both face lit and backlit illumination methods. Letters and logos shall be mounted to building wall surfaces, architectural features and/or articulated wall sections. Electrical connections shall be concealed to remote and/or self-contained transformers and power sources wherever possible.

A. Sign Area

1. The maximum sign area per building elevation shall be calculated by multiplying one and one-half (1.50) times the length of the storefront(s) and/or elevation(s) occupied by the Tenant without limitation as to number of sign elements per building elevation. No more than two (2) elevations may be utilized for signage by a Tenant per OVZCR regulations. Sign area on the rear elevations that are within 300' of Tangerine Road and/or Oracle Road shall be calculated by multiplying one (1.0) times the length of the elevation occupied by the Tenant. Section III.A.4 governs maximum aggregate sign area on any single elevation.

2. Pursuant to OVZCR definition, sign area shall be measured by multiplying the overall height of the tallest letter by the overall length of the total sign including the logo. The Planning and Zoning Administrator may approve the calculation of signs by measuring the sum of the smallest rectangular shape needed to enclose each letter or symbol if special circumstances arise that would warrant the need to calculate differently.

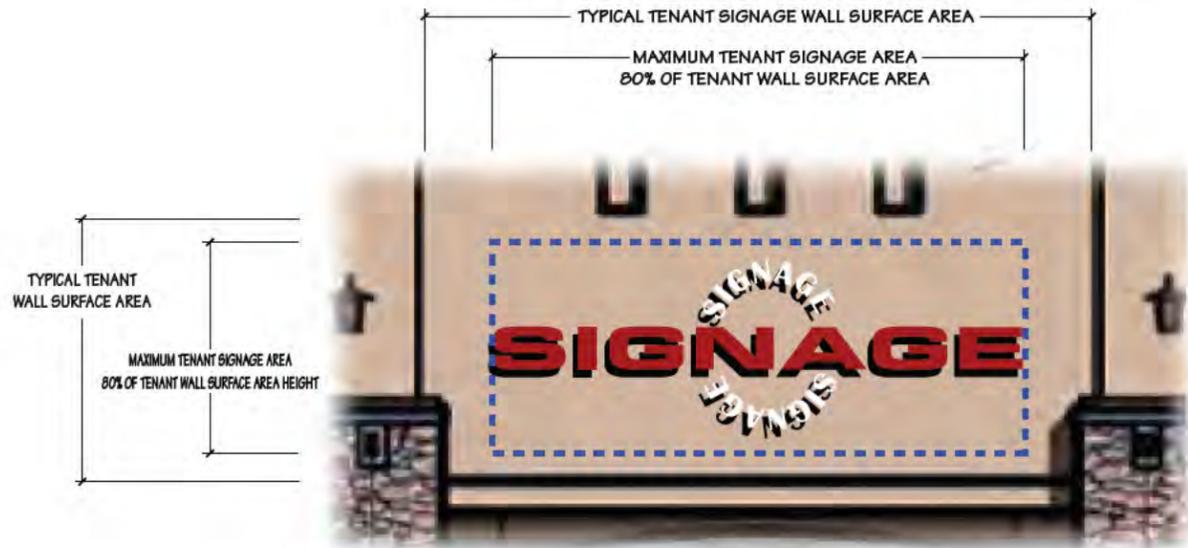
3. As a minimum allowance, all Shop Tenants shall be permitted a minimum of thirty-two (32) square feet of sign area per elevation upon which signage is placed.

4. Major Tenants occupying less than 9999 SF shall be limited to a maximum aggregate sign area of two hundred (200 SF) square feet per elevation upon which signage is placed subject to allowable sign area limitations established herein. Major Tenants occupying 10000 SF through 49999 shall be limited to a maximum aggregate sign area of three hundred (300 SF) square feet per elevation upon which signage is placed subject to allowable sign area limitations established herein. Major Tenants occupying greater than 50000 SF shall be limited to a maximum aggregate sign area of five hundred (500 SF) square feet per elevation upon which signage is placed subject to allowable sign area limitations established herein.

Letter Height and Placement Restrictions

1. Majors Tenants occupying less than 9999 SF shall be limited to a maximum letter height of thirty six (36") inches. Majors occupying 10000 SF through 49999 SF shall be limited to a maximum letter height of sixty (60") inches. Majors occupying greater than 50000 SF shall be limited to a maximum letter height of sixty (60") inches. Logos shall not be subject to maximum letter height restrictions herein established, however, shall be included in sign area computations. All Tenants shall be permitted to display their trademarked corporate identification and logos subject to sign area limitations and design specifications contained in the approved Master Sign Program. Signage shall be designed to be aesthetically balanced with surrounding building features, architectural embellishments and articulation developed to create the thematic design of Oro Valley Marketplace.

2. Length of Sign on Wall Surface: Signage shall not exceed eighty (80%) percent of the building elevation, architectural embellishment and/or articulation upon which it is placed.



ENLARGEMENT OF TENANT SIGN AREA - MAJOR - SCALE 1/8" = 1'-0"



WEST/FRONT ELEVATION BUILDING GROUP NO. 1 - SCALE 1" = 80'-0"

ORO VALLEY MARKETPLACE

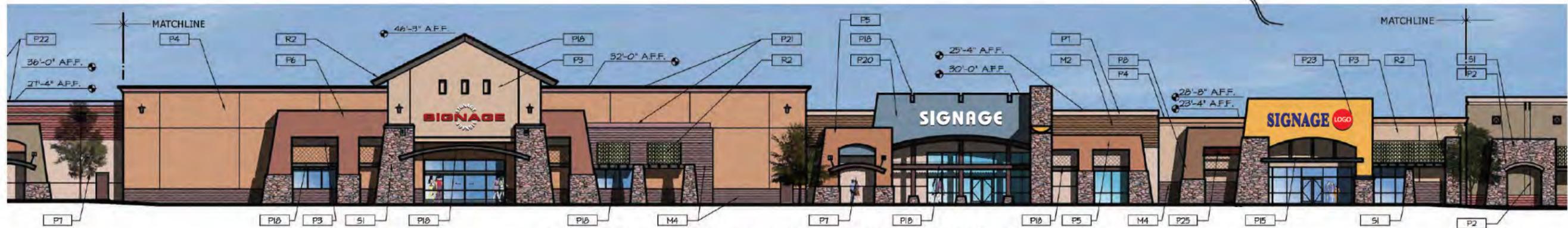
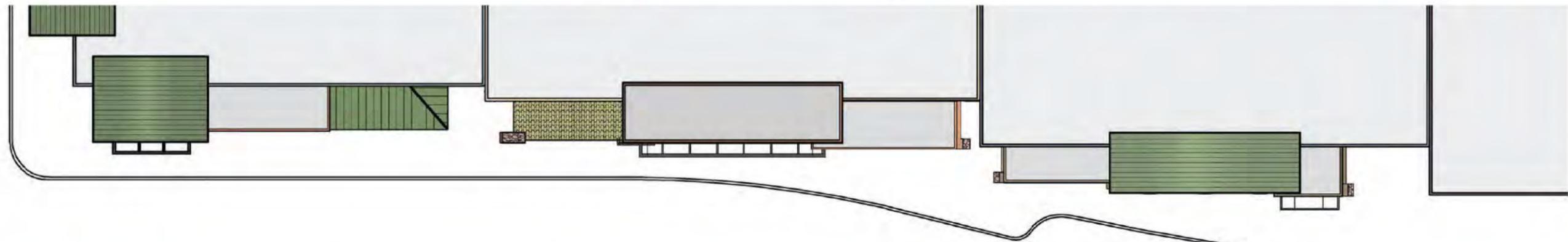
ORO VALLEY, ARIZONA

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TOLLESON, ARIZONA 85353
602-944-3117
FAX 602-395-0753
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1A - FRONT ELEVATION - NORTH PORTION OF BUILDING GROUP NO. 1



1A - FRONT ELEVATION - MIDDLE PORTION OF BUILDING GROUP NO. 1



ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA

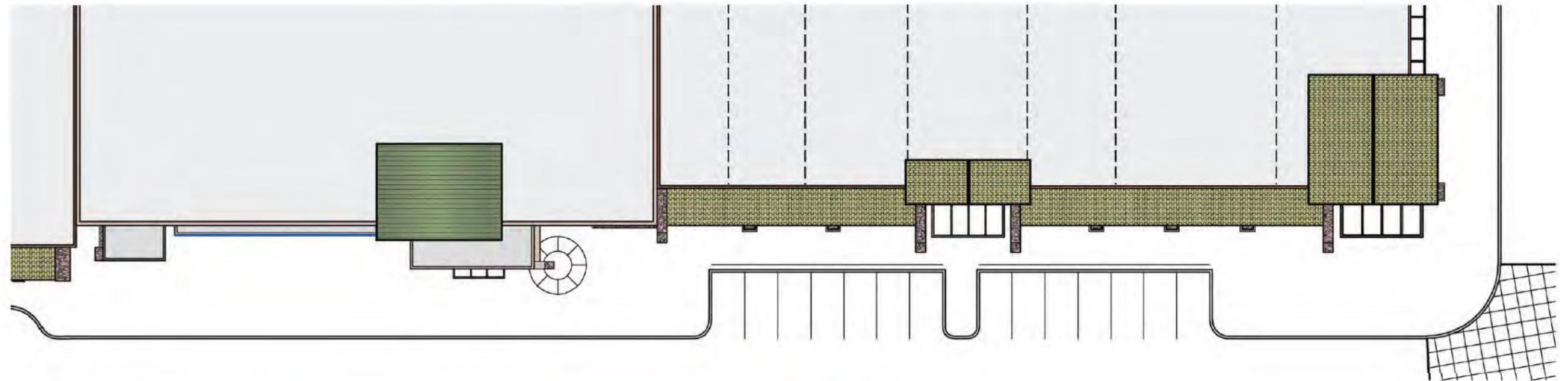


PROJECT:	9650 WEST ROOSEVELT STREET	DESIGN NO.:	DATE:
TITLE:	TOLLESON, ARIZONA 85335	SCALE:	REVISIONS:
DESIGNER:	602-244-2417	SALES:	602-395-0753
			SALES@BLEIERINDUSTRIES.COM

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1 A - FRONT ELEVATION - SOUTH PORTION OF THE BUILDING GROUP NO. 1



NA2-1501-2509
Dryvit Bright Blue
WEDGE COLOR

ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA



PROJECT:	9650 WEST ROOSEVELT STREET	DESIGN NO.:	DATE:
TITLE:	TOLLESON, ARIZONA 85353	REVISIONS:	
DESIGNER:		SITE NO.:	17
SALES:	SALES@BLEIERINDUSTRIES.COM	PHONE:	AX 602-395-0753

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APPROVED BY TOWN COUNCIL DECEMBER 20, 2006



"HALO" ILLUMINATION

ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA

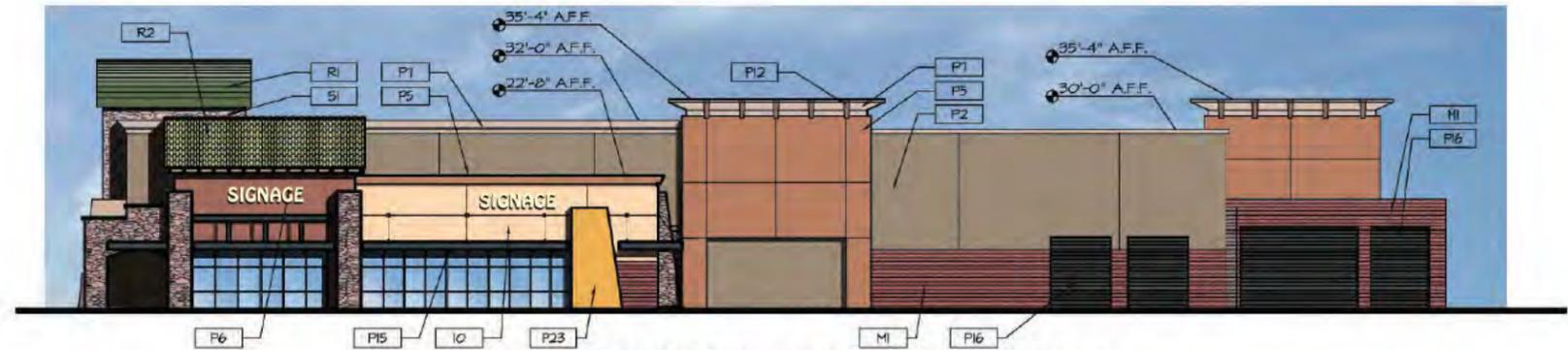
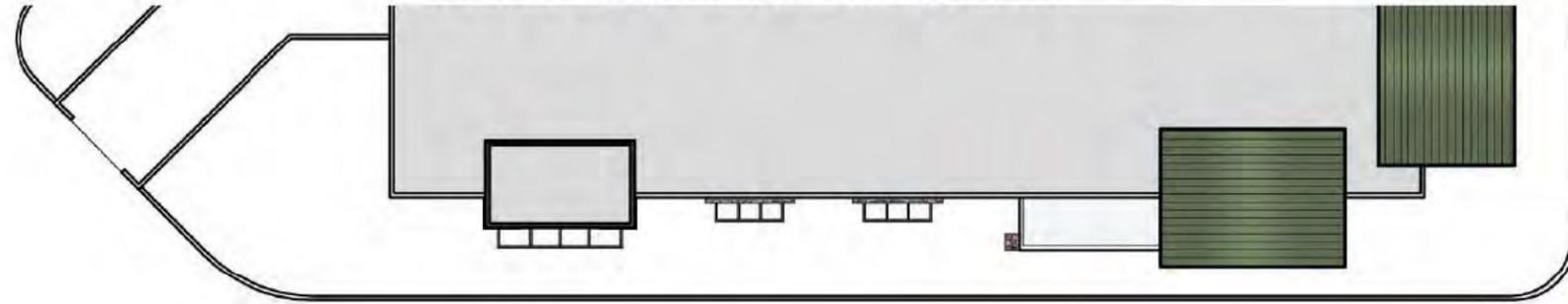


PROJECT:	DESIGN NO.:	DATE:
9650 WEST ROOSEVELT STREET	SCALE:	REVISIONS:
TOLSON, ARIZONA 85353		
TITLE:	SHEET NO.:	
DESIGNER:	SALES:	FAX 602-395-0753
	SALES@BLEIERINDUSTRIES.COM	

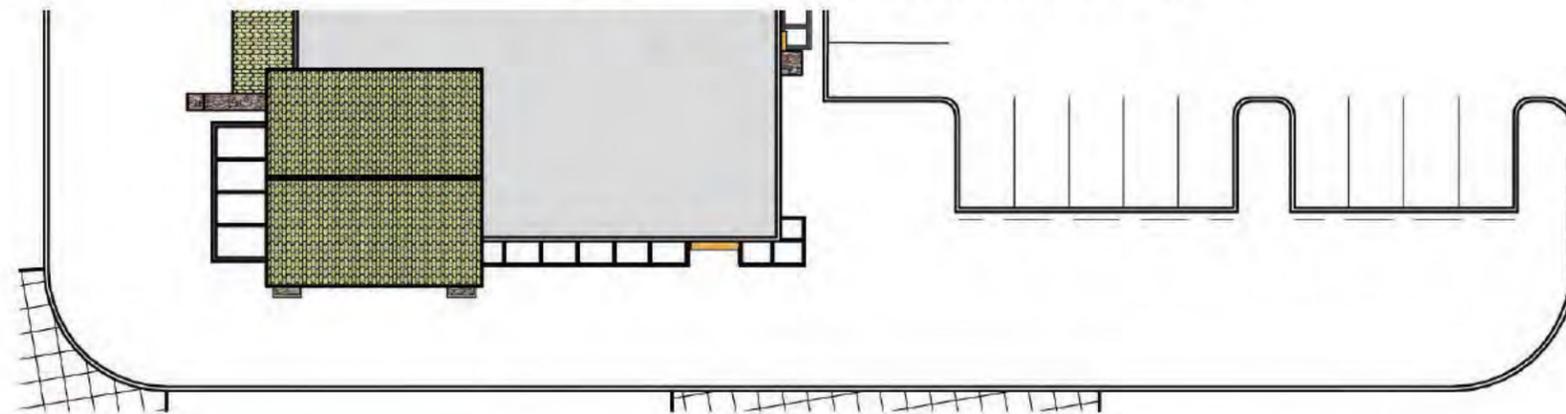
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1D - NORTH ELEVATION - BUILDING GROUP NO. 1



1B - SOUTH ELEVATION - BUILDING GROUP NO. 1



NORTH & SOUTH ELEVATIONS - BUILDING GROUP NO. 1
INDUSTRIES

ORO VALLEY MARKETPLACE
 ORO VALLEY, ARIZONA



PROJECT:	9650 WEST TOLLESON, AZ 85128	DESIGN NO.:	ROOSEVELT STREET	DATE:	
TITLE:	602-944-3117	SHEET NO.:	6733	PERMISSION:	
DESIGNER:	621111	FAX:	BRINDUSTRIES.COM		

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TYPICAL MAJOR BUILDING SIGNAGE CONCEPTS

TO ILLUSTRATE VARIETY OF LETTER STYLES, MATERIALS AND METHODS OF ILLUMINATION. FOR ILLUSTRATION PURPOSES ONLY.

Examples shown do not reflect actual tenants going into Oro Valley Marketplace.

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PROJECT:	9650 WEST ROOSEVELT STREET TOLLESON, ARIZONA 85353	DESIGN NO.:	DATE:
TITLE:		SCALE:	REVISIONS:
DESIGNER:		DRAWN BY:	
SALES:	FAX: 602-395-0753	SALES@BLEIERINDUSTRIES.COM	

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ORO VALLEY MARKETPLACE

Building Sign Matrix / Shop Tenants

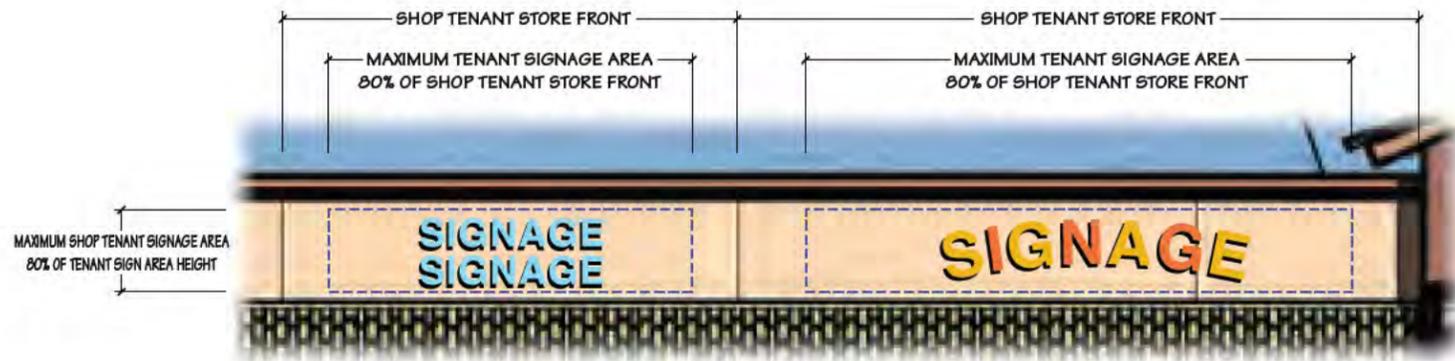
SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Shop Tenants	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage. Two (2) Elevations Maximum	24" Maximum Letter Height Exclusive of Logos	1.5 SF / Linear Foot of Building Leased Frontage 1.0 SF / Linear Foot of Building Leased Frontage and/or Elevation if Within 300' of Oracle Road or Tangerine Road 32 SF Minimum Per Elevation Upon Which Signage is Placed	Interior, Backlit or a Combination thereof. 4500° White Neon or 4400K White LED's for Backlit or Combination Illumination	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Shop Tenants in Theatre District	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage. Two (2) Elevations Maximum	24" Maximum Letter Height Exclusive of Logos	1.5 SF / Linear Foot of Building Leased Frontage 1.0 SF / Linear Foot of Building Leased Frontage and/or Elevation if Within 300' of Oracle Road or Tangerine Road 32 SF Minimum Per Elevation Upon Which Signage is Placed	Interior, Backlit, Exposed Fiber Optics or a Combination thereof. 4500° White Neon or 4400K White LED's for Backlit or Combination Illumination	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Shop Tenants	Under Canopy Blade Sign (Mandatory)	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	6.67 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

Letter Style and/or Logo Restrictions:

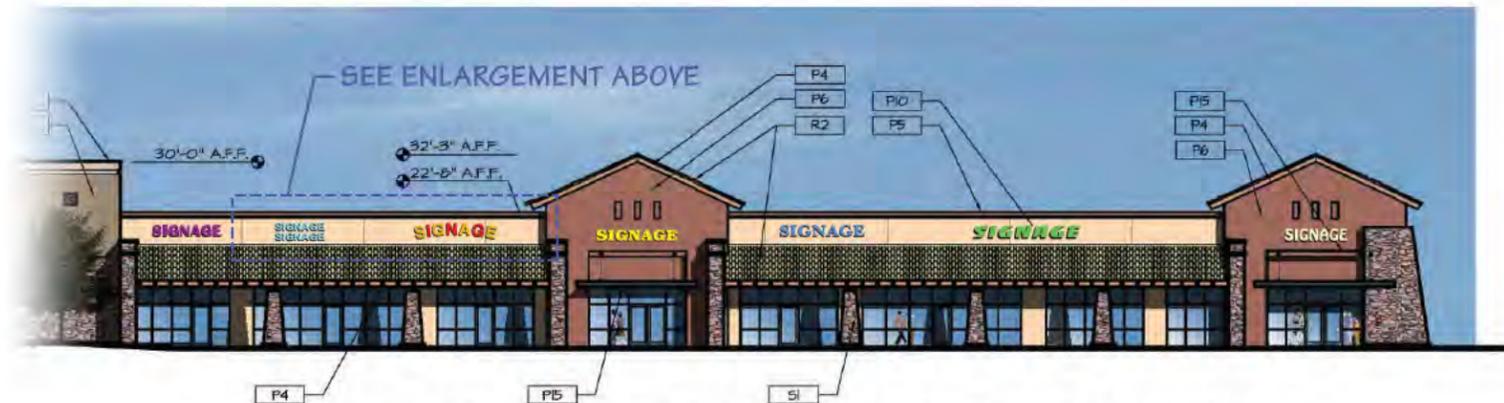
- Copy and/or logos utilized shall be Tenant's choice.
- Tenant signage shall include only the approved vinyl colors specified herein as part of the approved Master Sign Program. Tenants, whose copy and/or logos are trademarked may utilize any vinyl and/or acrylic color required to duplicate the trademarked copy and/or logo.

Illumination

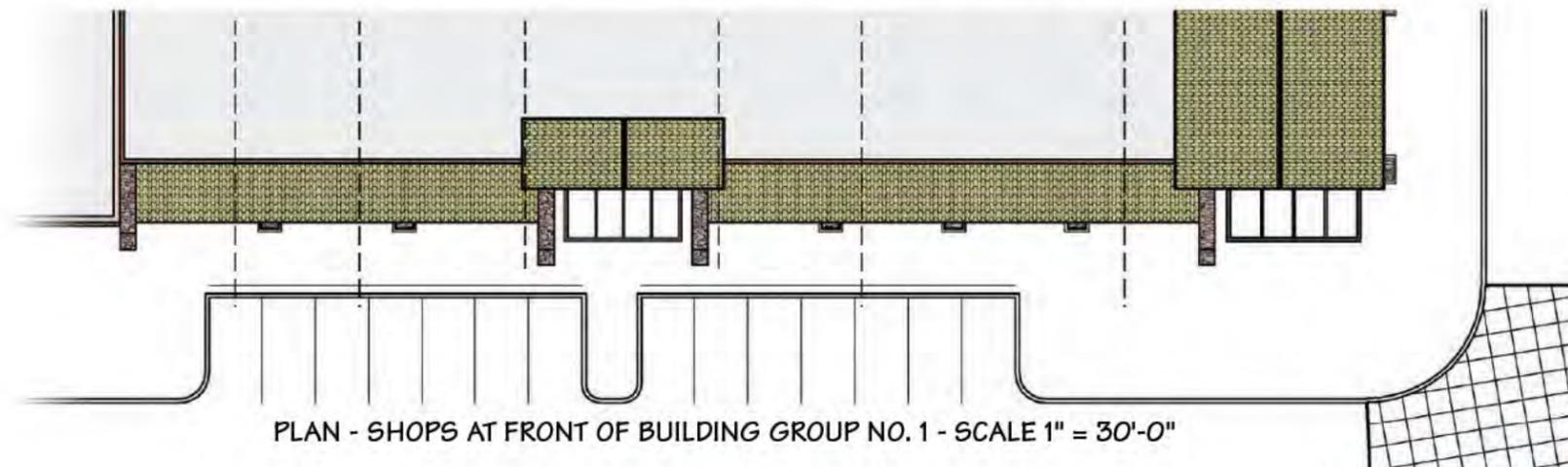
- Tenant building signage shall be internally illuminated, backlit to create a silhouette, and/or a combination of face lit and backlit lighting methods mentioned herein. For consistency of appearance and intensity, backlit illuminated letters and/or combination of face lit and backlit illuminated letters shall use 4500° white neon tubing or 4400K white LED's or the in effect standard of the Zoning Code adopted by the Town of Oro Valley for the source of illumination. For internally illuminated letters and logos, colored neon tubing and/or colored LED lighting shall be utilized to illuminate vinyl and/or acrylic faces in a manner that provides a visual color consistency and continuity throughout Oro Valley Marketplace.
- Exposed neon is not permitted. Shop Tenants located in the Theatre District may utilize flexible LED tube lighting.
- Illuminated wall signs shall be turned off no later than one hour after the close of the business in accordance with OVZCR regulations except that wall signs facing Tangerine Road or Oracle Road shall be turned off at 11:00 PM or one (1) hour after the movie theater closes.
- **Shop Tenants in Shop Building 43 shall be limited to backlit illuminated signage on the elevation facing and/or oriented towards the riparian habitat. Other elevations may use all approved illuminated methods stated above.**



ENLARGEMENT OF TENANT SIGN AREA
SHOPS AT WEST/FRONT ELEVATION BUILDING GROUP NO. - SCALE 1/8" = 1'-0"



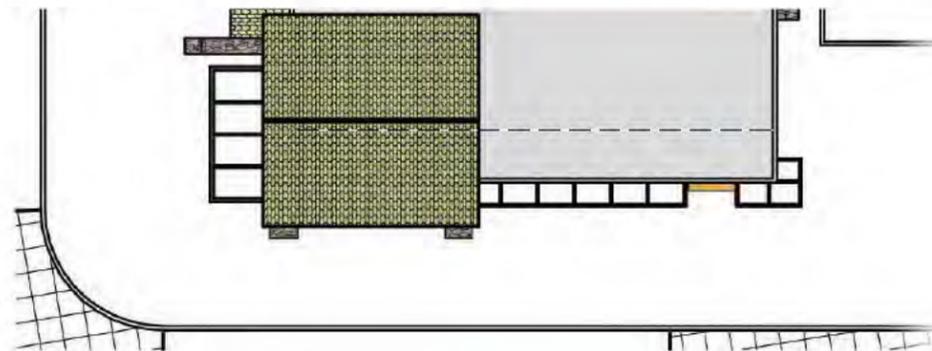
SHOPS AT WEST/FRONT ELEVATION BUILDING GROUP NO. 1 - SCALE 1" = 30'-0"



PLAN - SHOPS AT FRONT OF BUILDING GROUP NO. 1 - SCALE 1" = 30'-0"



SHOP AT SOUTH ELEVATION BUILDING GROUP NO. 1 - SCALE 1" = 30'-0"



III. DESIGN REQUIREMENTS

Individual illuminated letters and logos may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or the combination of both face lit and backlit illumination methods. Letters and logos shall be mounted to building wall surfaces, architectural features and/or articulated wall sections. Electrical connections shall be concealed to remote and/or self-contained transformers and power sources wherever possible.

A. Sign Area

1. The maximum sign area per building elevation shall be calculated by multiplying one and one-half (1.50) times the length of the storefront(s) and/or elevation(s) occupied by the Tenant without limitation as to number of sign elements per building elevation. No more than two (2) elevations may be utilized for signage by a Tenant per OVZCR regulations. Sign area on the rear elevations that are within 300' of Tangerine Road and/or Oracle Road shall be calculated by multiplying one (1.0) times the length of the elevation occupied by the Tenant.

Section III.A.4 governs maximum aggregate sign area on any single elevation.

2. Pursuant to OVZCR definition, sign area shall be measured by multiplying the overall height of the tallest letter by the overall length of the total sign including the logo. The Planning and Zoning Administrator may approve the calculation of signs by measuring the sum of the smallest rectangular shape needed to enclose each letter or symbol if special circumstances arise that would warrant the need to calculate differently.

3. As a minimum allowance, all Shop Tenants shall be permitted a minimum of thirty-two (32) square feet of sign area per elevation upon which signage is placed.

Letter Height and Placement Restrictions

1. Shop Tenants shall be limited to a maximum letter height of twenty four (24") inches. Logos shall not be subject to maximum letter height restrictions herein established, however, shall be included in sign area computations. All Tenants shall be permitted to display their trademarked corporate identification and logos subject to sign area limitations and design specifications contained in the approved Master Sign Program. Signage shall be designed to be aesthetically balanced with surrounding building features, architectural embellishments and articulation developed to create the thematic design of Oro Valley Marketplace.

2. Length of Sign on Wall Surface: Signage shall not exceed eighty (80%) percent of the building elevation, architectural embellishment and/or articulation upon which it is placed.

3. Shop Tenant signage shall not exceed eighty (80%) percent of the Tenant's leased storefront length when placed adjacent to another shop Tenant's sign sharing a common wall background.

ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA



PROJECT:	bleier INDUSTRIES
SCALE:	AS SHOWN
TITLE:	9650 WEST ROOSEVELT STREET DULLES, ARIZONA 85333
DESIGNER:	602-944-3117
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	SALES@BLEIERINDUSTRIES.COM



TYPICAL SHOP BUILDING SIGNAGE CONCEPTS

TO ILLUSTRATE VARIETY OF LETTER STYLES, MATERIALS AND METHODS OF ILLUMINATION. FOR ILLUSTRATION PURPOSES ONLY.

Examples shown do not reflect actual tenants going into Oro Valley Marketplace.

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PROJECT:	9650 W. TOLLESON	SCALE:	REVISED:
TITLE:	TOLLESON, ARIZONA 85353	SHEET NO.:	002-3443 117
DESIGNER:	SALES:	AX 602-395-0753	
		SALES@BLEIERINDUSTRIES.COM	

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ORO VALLEY MARKETPLACE

Building Sign Matrix / Pad and Office Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Pad Tenant	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage. Two (2) Elevations Maximum	36" Maximum Letter Height Exclusive of Logos Within Building Silhouette	1.5 SF / Linear Foot of Each Building Elevation 1.0 SF / Linear Foot of Building Elevation if Within 300' of Oracle Road or Tangerine Road 32 SF Minimum Per Elevation Two Hundred (200 SF) Square Feet Maximum Sign Area Per Elevation	Interior, Backlit, or a combination thereof. 4500° White Neon or 4400K White LED's for Backlit or Combination Illumination	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	Under Canopy Blade Sign (Optional)	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	6.67 SF	Non-Illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	Menu Signs	Menu Display and Pricing	Drive Thru	Per OVZCR Regulations	Per OVZCR Regulations	Interior Illumination	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	Traffic Directionals	Vehicular	Driveways and Drive Thru as Required	Per OVZCR Regulations	Per OVZCR Regulations	Interior Illumination	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	ATM	ATM	Wall or Freestanding	Per OVZCR Regulations	Per OVZCR Regulations	Interior Illumination	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

Letter Style and/or Logo Restrictions:

- Copy and/or logos utilized shall be Tenant's choice.
- Tenant signage shall include only the approved vinyl colors specified herein as part of the approved Master Sign Program. Tenants, whose copy and/or logos are trademarked may utilize any vinyl and/or acrylic color required to duplicate the trademarked copy and/or logo.

Illumination

- Tenant building signage shall be internally illuminated, backlit to create a silhouette, and/or a combination of face lit and backlit lighting methods mentioned herein. For consistency of appearance and intensity, backlit illuminated letters and/or combination of face lit and backlit illuminated letters shall use 4500° white neon tubing or 4400K white LED's or the in effect standard of the Zoning Code adopted by the Town of Oro Valley for the source of illumination. For internally illuminated letters and logos, colored neon tubing and/or colored LED lighting shall be utilized to illuminate vinyl and/or acrylic faces in a manner that provides a visual color consistency and continuity throughout Oro Valley Marketplace.
- Exposed neon is not permitted.
- Illuminated wall signs shall be turned off no later than one hour after the close of the business in accordance with OVZCR regulations.
- ***Pads 10, 21, 22, 27, 28 and 37 shall be limited to backlit illuminated signage on the elevation facing and/or oriented towards the riparian habitat. Other elevations may use all approved illuminated methods stated above.***

General Restriction

- ***Pads 46,47,48 and Office Buildings 2,5,6, and 8 shall not place any signage on the elevation facing and/or oriented towards the riparian habitat.***



4 - ARCHITECTURAL CONCEPT ELEVATION - BANK



5 - ARCHITECTURAL CONCEPT ELEVATION - RETAIL BUILDING



6 - ARCHITECTURAL CONCEPT ELEVATION - RESTAURANT

ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA



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PROJECT:	9650 WEST ROOSEVELT STREET
TITLE:	TOLLESBERRY, ARIZONA
DESIGNER:	SALES: SALES@BLEIERINDUSTRIES.COM
REGIONAL:	DATE:
REVISED:	REVISED:
SHEET NO.:	802-944-3117
FAX:	602-395-0753
BLEIERINDUSTRIES.COM	

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TYPICAL PAD BUILDING SIGNAGE CONCEPTS

TO ILLUSTRATE VARIETY OF LETTER STYLES, MATERIALS AND METHODS OF ILLUMINATION. FOR ILLUSTRATION PURPOSES ONLY.

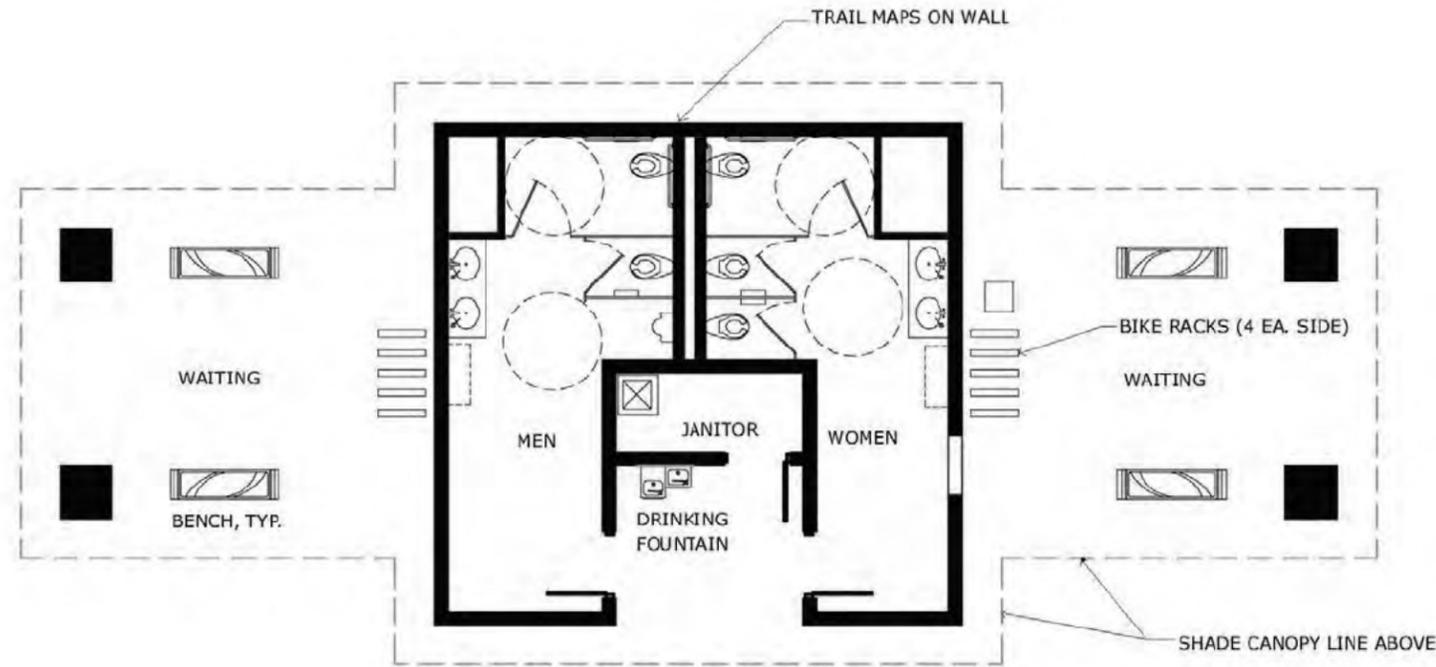
Examples shown do not reflect actual tenants going into Oro Valley Marketplace.

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PROJECT:	9650 WEST TOLLESON, AZ 85128	DESIGN NO.:	ROOSEVELT STREET	DATE:	12/15/11
TITLE:	SALES OFFICE	REVISIONS:	1		
DESIGNER:	SALES OFFICE	SALES OFFICE	INDUSTRIES.COM		

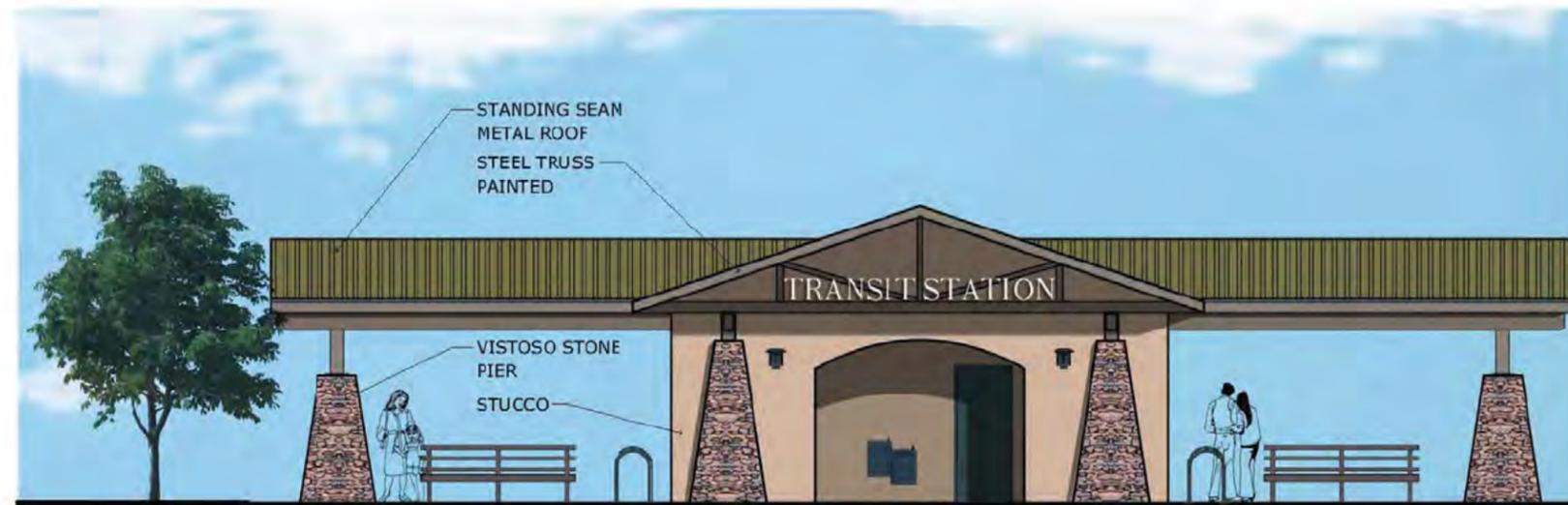
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TRANSIT STATION PLAN

Illumination

- Building signage shall be internally illuminated, backlit to create a silhouette. For consistency of appearance and intensity, backlit illuminated letters and/or combination of face lit and backlit illuminated letters shall use Voltarc™ 4500° White Tubing or equal for the source of illumination.
- Exposed neon is not permitted.



11 - TRANSIT STATION FRONT ELEVATION



11 - TRANSIT STATION SIDE ELEVATION

ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA



PROJECT:	3000 W. ROOSEVELT STREET TOLLESON, ARIZONA 85262	DESIGN NO:	DATE:
TITLE:	SALES@BLEIERINDUSTRIES.COM	SCALE:	REVISIONS:
DESIGNER:	SALES:	SHEET NO:	3
			ERINDUSTRIES.COM

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ORO VALLEY MARKETPLACE

Building Sign Matrix / Theatre

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Building Signage	Wall Mounted Signs	Theatre Identification	Two (2) Elevations Maximum	60" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Frontage and/or Elevation Upon Which Signage is Placed 1.0 SF / Linear Foot of Building Elevation if Y \bar{a} @ H \bar{c} \bar{c} ~Oracle Road or Tangerine Road	Interior, Backlit, Flexible LED Tube Lighting or a combination thereof. 4500° White Neon or 4400K White LED's for Backlit or Combination Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Image Panels	Wall Mounted Signs	Thematic	Two (2) Elevations Maximum	Twelve (12') Feet	Seventy-two (72 SF) Square Feet per Panel	Interior and/or Exterior Fixture	Aluminum, Acrylic, Painted Metal, Flexface Material
Electronic Showtime	Wall Mounted Signs	Showtimes	Ticketing	Thirty-six (36") Inches	Forty-eight (48 SF) Square Feet	Electronic LED	Aluminum, Acrylic, Painted Metal
Posters	Wall Mounted Signs	Movie Posters	Pedestrian Area	Six (6') Feet	Twenty-four (24 SF) Square Feet per Panel	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal
Flexible LED Tube Lighting	Wall Mounted	Thematic Design	Building Mounted	Maximum Building Height	N/A	Flexible LED Tube Lighting	Flexible LED Tube Lighting

Letter Style and/or Logo Restrictions:

- Copy and/or logos utilized shall be Tenant's choice.
- Theatre signage shall include only the approved vinyl colors specified herein as part of the approved Master Sign Program. The Theatre Tenant, whose copy and/or logos are trademarked may utilize any vinyl and/or acrylic color required to duplicate the trademarked copy and/or logo.

Illumination

- The Theatre Tenant building signage shall be internally illuminated, backlit to create a silhouette, and/or a combination of face lit and backlit lighting methods mentioned herein. For consistency of appearance and intensity, backlit illuminated letters and/or combination of face lit and backlit illuminated letters shall use 4500° white neon tubing or 4400K white LED's [! @ \$ ^ ~ & * + , - . : ;] [~ U ! [X ^ ^ for the source of illumination. For internally illuminated letters and logos, colored neon tubing and/or colored LED lighting shall be utilized to illuminate vinyl and/or acrylic faces in a manner that provides a visual color consistency and continuity throughout Oro Valley Marketplace.
- Exposed neon is not permitted. The Theatre Tenant may utilize exposed flexible LED tube lighting.
- Illuminated wall signs shall be turned off no later than one hour after the close of the Theatre in accordance with OVZCR regulations.



Theatre signage illustrated herein is representative of typical methods used to identify a theatre and create an "Entertainment District" atmosphere. Actual signage and exterior lighting will vary from that illustrated herein.

ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA



PROJECT:	9650 WEST TOLLESON	DESIGN NO.:	20080521	DATE:	05/21/08
TITLE:	THEATRE SIGNAGE	SCALE:	AS SHOWN	REVISIONS:	
DESIGNER:	SALES:	PHONE:	480-239-0753	EMAIL:	SALES@BLEIERINDUSTRIES.COM

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Theatre signage illustrated herein is representative of typical methods used to identify a theatre and create an "Entertainment District" atmosphere. Actual signage and exterior lighting will vary from that illustrated herein.

ORO VALLEY MARKETPLACE
ORO VALLEY, ARIZONA

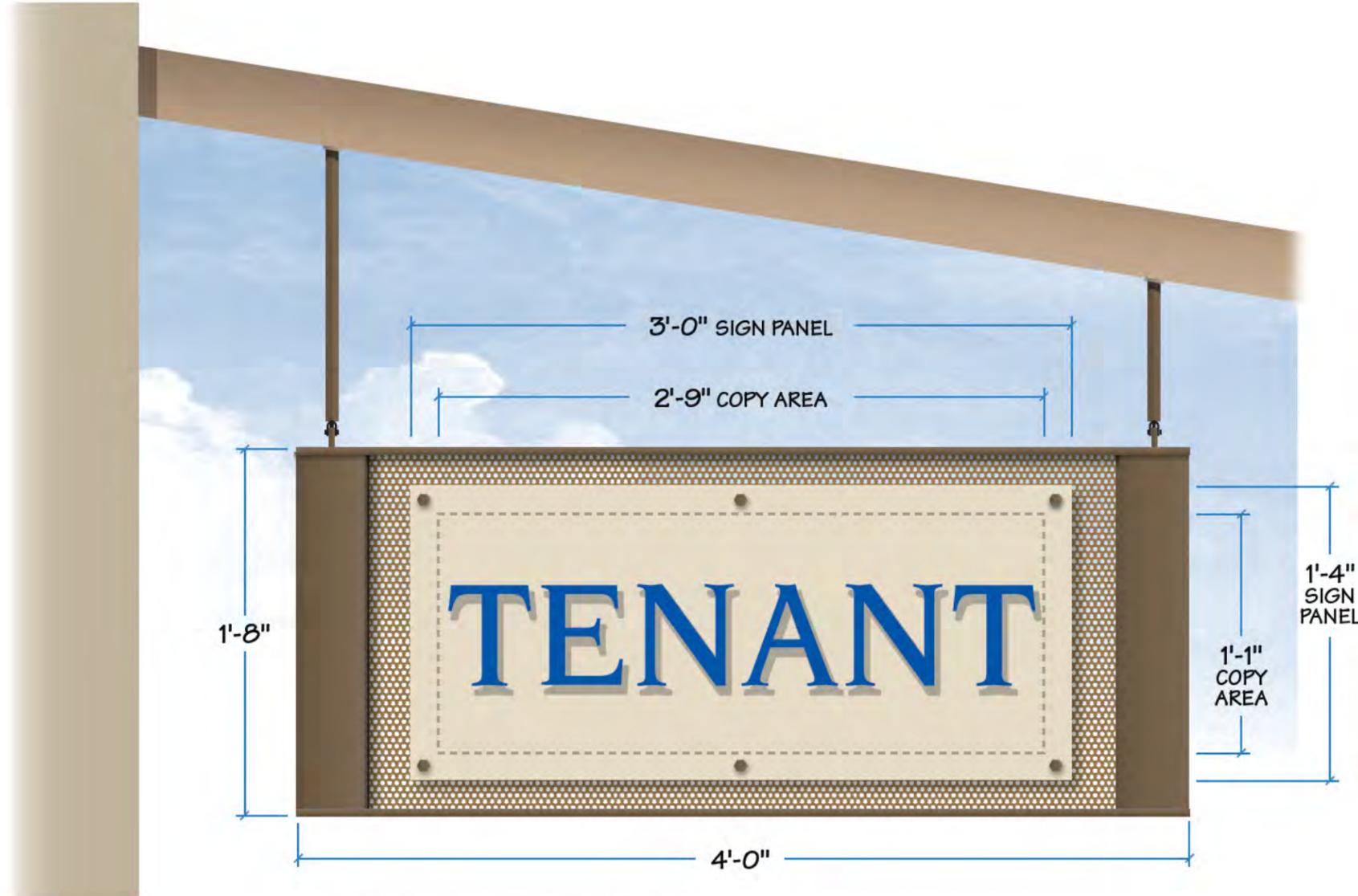
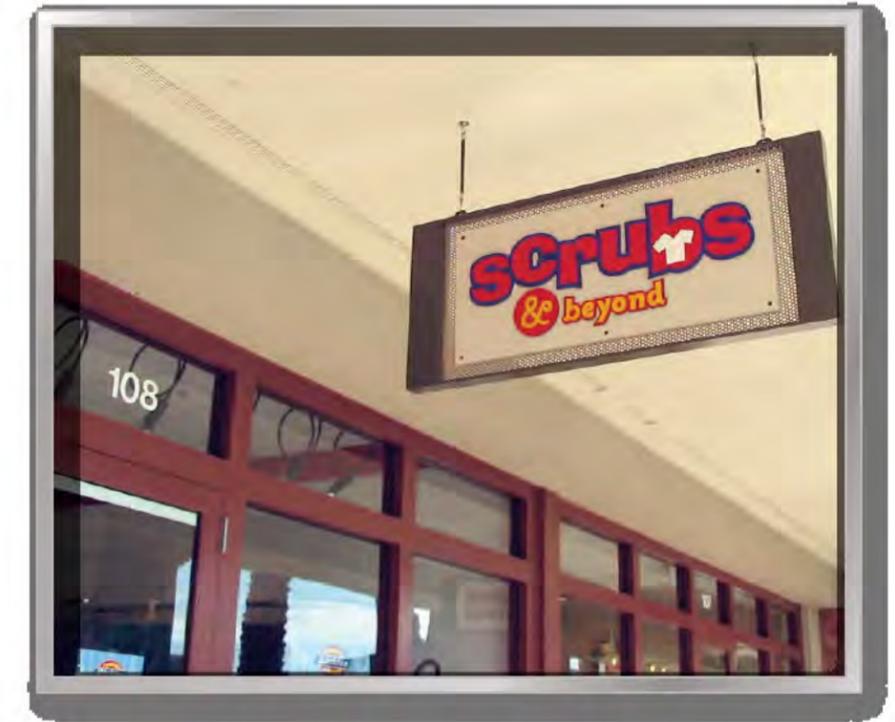


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PROJECT:	9650 WEST ROOSEVELT	DESIGN NO.:	DATE:
TITLE:	TOLLESON, ARIZONA 85353	SHEET NO.:	REVISIONS:
DESIGNER:	SALES@BLEIERINDUSTRIES.COM	PHONE:	
		FAX:	

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Tenant copy to be FCO 1/4" thick sintra™ or aluminum.
 Tenant copy to be painted per tenant's corporate colors and flush mounted to background.
 Developer approval required for all layouts.



D/F BLADE SIGN - ELEVATION
 SCALE: 1-1/2"=1'-0"



END VIEW
 SCALE: 1-1/2"=1'-0"

ORO VALLEY MARKETPLACE
 ORO VALLEY, ARIZONA



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PROJECT:	9650 WEST ROOSEVELT STREET TOLLESON, AZ	DATE:	
TITLE:	602-944-3117	KEY-SIGNS:	
DESIGNER:	FAX 602-355-0755	SHEET NO.:	
	INDUSTRIES.COM		

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